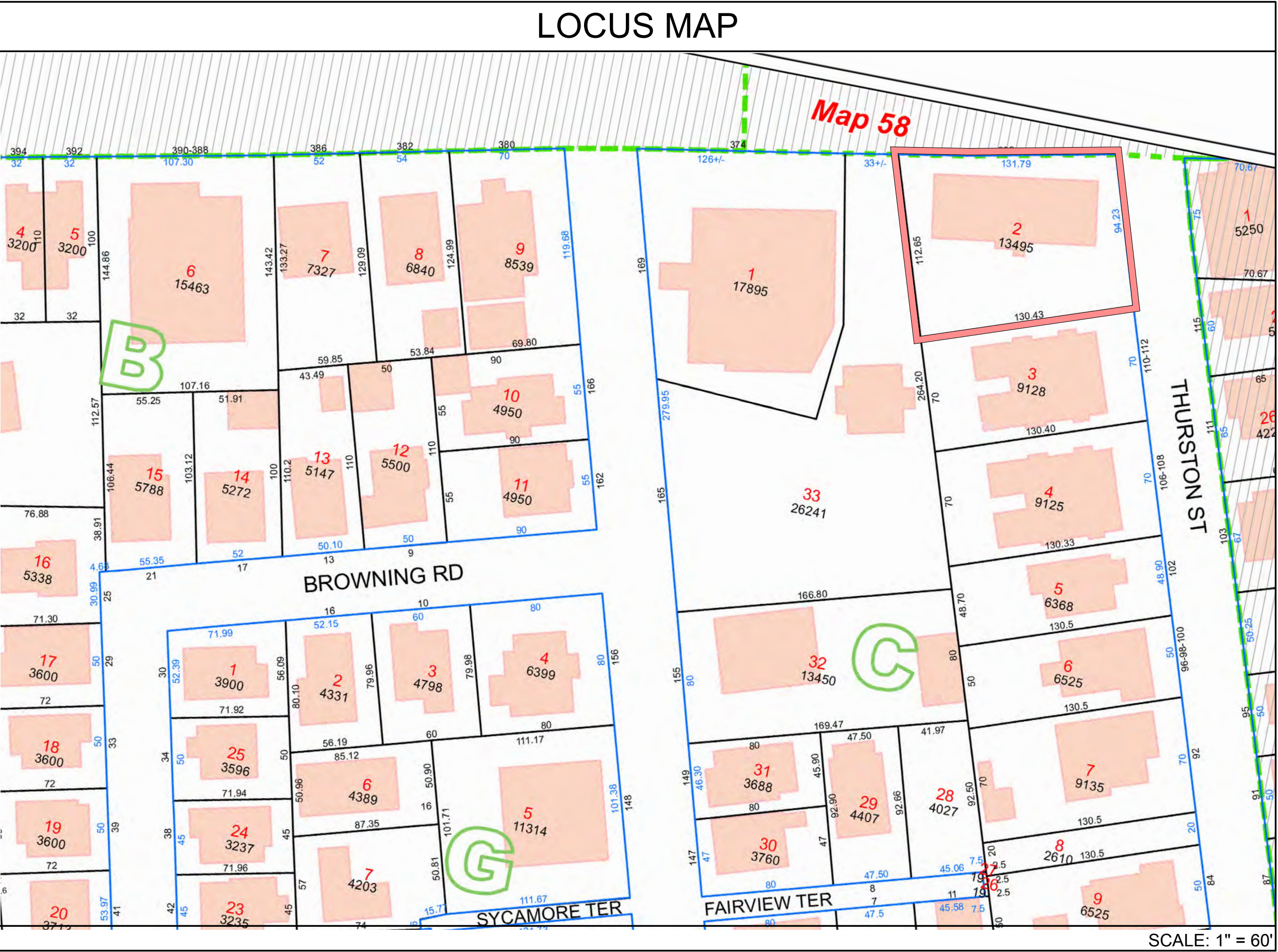


A-000	Cover Sheet	03/24/2023
C1	Existing Civil Plan	01/16/2023
L1	Landscape Plan	03/24/2023
L2	Streetscape	03/24/2023
L3	Roof Deck Plant Materials	03/24/2023
L4	Roof Deck Materials	03/24/2023
L5	Green Score Calculation	03/24/2023
L6	Green Score - Site Details	03/24/2023
L7	Green Score - Site Details	03/24/2023
L8	Green score - Site Details	03/24/2023
L9	Tree Protection Plan	03/24/2023
L0	Landscape Plan	03/24/2023
LR0	Roof Deck Plan	03/24/2023
L10	Landscape Comments	03/24/2023
A-010	Diagrammatic Section & Bldg Metrics	03/24/2023
A-020	Site Plan	03/24/2023
A-023	Gross Floor Area	03/24/2023
A-024	Leasable Floor Area	03/24/2023
A-100	Basement Floor Plan	03/24/2023
A-101	1st Floor Plan	03/24/2023
A-102	2nd - 4th Floor Plans	03/24/2023
A-103	Roof Plan	03/24/2023
A-301	Primary Front Elevation - Broadway	03/24/2023
A-302	Secondary Front Elevation-Thurston	03/24/2023
A-303	Side Elevations	03/24/2023
AV-1	Perspective at Broadway & Thurston	03/24/2023
AV-2	Perspective at Broadway	03/24/2023
AV-3	Thurston Street Perspective	03/24/2023
AV-4	Proposed Rendering	03/24/2023
AV-5	Proposed Rendering	03/24/2023
AV-6	Proposed Aerial	03/24/2023
AV-7	Proposed Aerial	03/24/2023
AV-8	Shadow Study - Vernal Equinox	03/24/2023
AV-9	Shadow Study - Summer Solstice	03/24/2023
AV-10	Shadow Studies -Summer Solstice /Autumnal Equinox	03/24/2023
AV-11	Shadow Studies -Winter Solstice /Autumnal Equinox	03/24/2023
AV-12	Winter Solstice Shadow Study	03/24/2023



PROJECT:  
366 BROADWAY RESIDENCES

PROJECT ADDRESS:  
366 BROADWAY SOMERVILLE, MASSACHUSETTS

ARCHITECT  
KHALSA DESIGN INC.  
ADDRESS:  
17 IVALOO STREET, SUITE 400  
SOMERVILLE, MA 02143

LANDSCAPE ARCHITECT  
KHALSA DESIGN INC.  
ADDRESS:  
318 HARVARD STREET, SUITE 25  
BROOKLINE, MA 02446

CLIENT  
366 BROADWAY LLC  
c/o EDWARD DOHERTY  
200 BROADWAY, SUITE 103  
LYNNFIELD, MA 01940

CIVIL  
DGT ASSOCIATES  
ADDRESS  
803 SUMMER STREET, 1ST FLOOR  
BOSTON, MA 02127

DEVELOPMENT REVIEW SET:  
03/24/2023

PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
Somerville LLC

ARCHITECT

  
KHALSA

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682

CONSULTANTS:

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REGISTRATION



NOT FOR CONSTRUCTION

Project number	21071
Date	03/24/2023
Drawn by	ERS
Checked by	JSK
Scale	1" = 60'-0"

REVISIONS		
No.	Description	Date


Cover Sheet

A-000

366 Broadway Residences

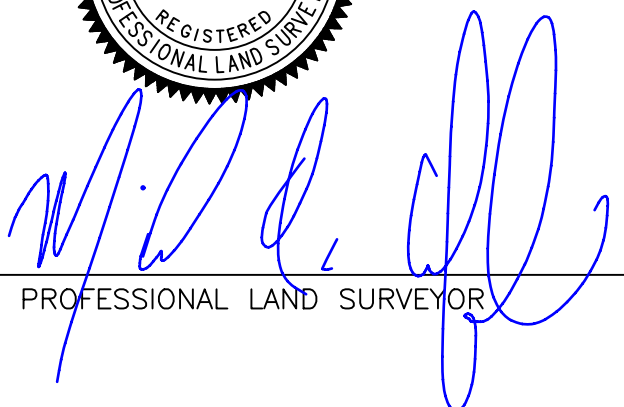


BY:	DESCRIPTION:	DATE:	REV: 0
PLAN NO.:	S-1656_01TP		

366 BROADWAY	RESEARCH: D. CLIFFORD
	FIELD: K. GOMES
TOPOGRAPHIC PLAN OF LAND IN SOMERVILLE, MASSACHUSETTS MIDDLESEX COUNTY	CALCULATION: B.T.
	DRAFTING: W.S./V.V.
PREPARED FOR: KEMS CORPORATION	CHECK: M. CLIFFORD, PLS.
	PROJ. MANAGER: B. TALEB
PREPARED BY:  <b>DGT Associates</b> Surveying & Engineering Framingham • Boston • Worcester 803 SUMMER STREET, 1ST FLOOR, BOSTON, MA 02127 617.275.0541 www.DGTassociates.com	DATE: 17-NOV-2022
	JOB NO. S-1656.01
	CRD. FILE S-1656-ALL NAD83_NAVD88
	SHEET NO. 1 OF 1

SCALE: 1" = 20'  
0 10 20 40



  
PROFESSIONAL LAND SURVEYOR  
16-JAN-2023  
DATE

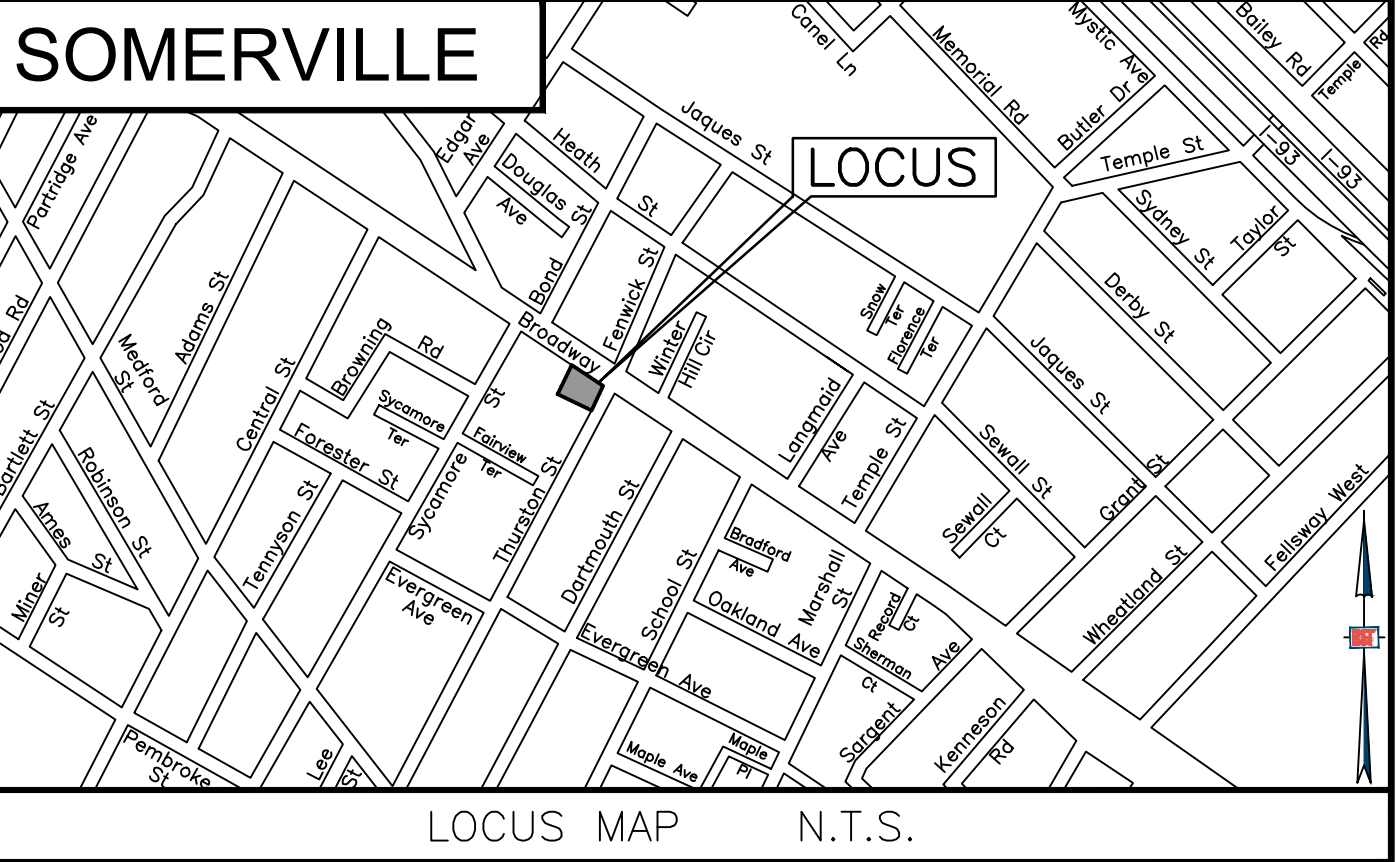
**REFERENCE**  
OWNER OF RECORD: n/f 366 BROADWAY LLC  
72441/78 (2019)  
PLAN BOOK 179, PLAN 15 (1909)  
AREA = 13,502 SQ. FT.  
ASSESSOR MBLU: 48/C/2

**PLAN REFERENCES**  
CITY NOTE BOOK 2, PAGES 6-8  
" " " 31, " 188-195  
" " " 40, " 78-79

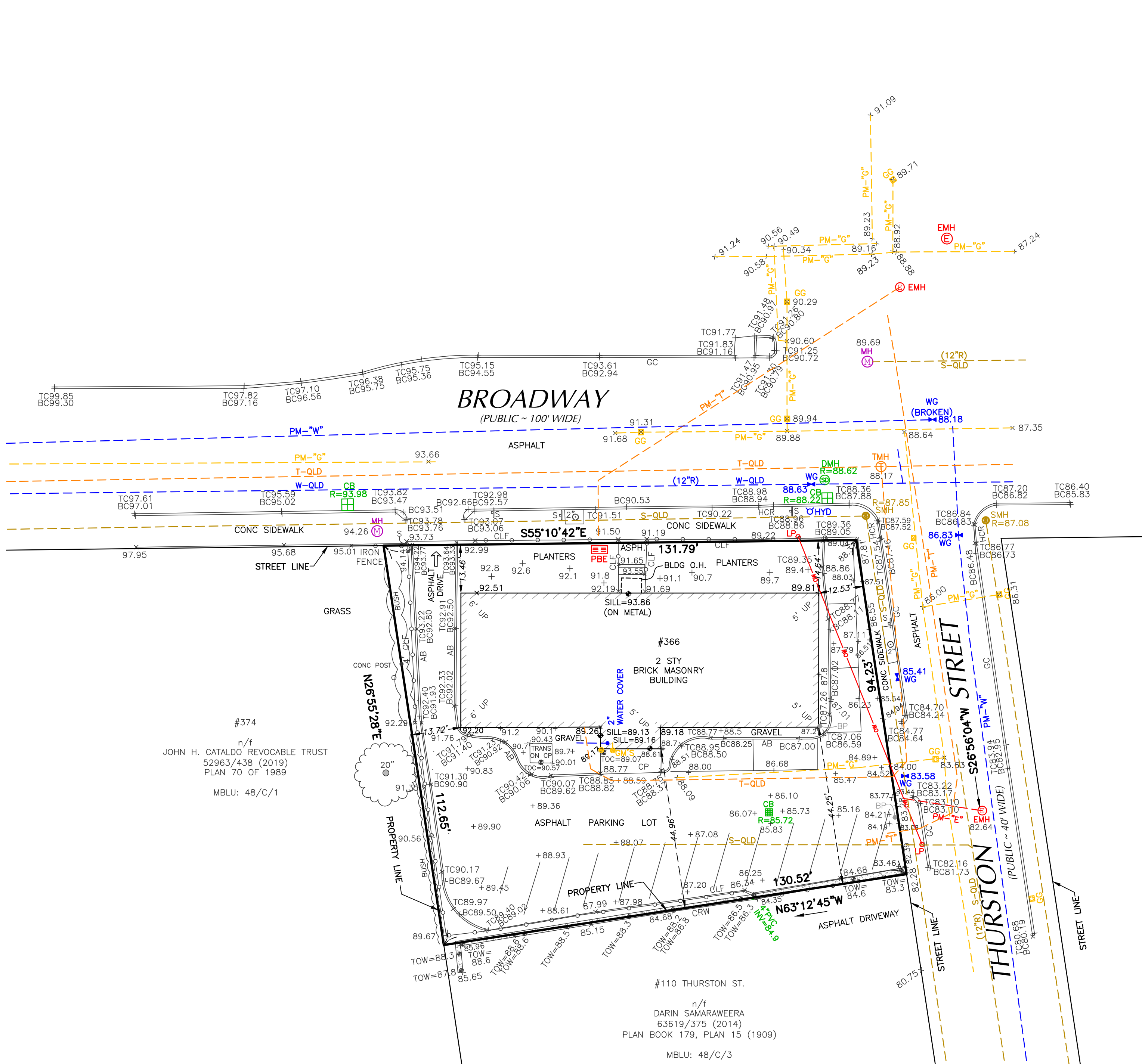
**MIDDLESEX COUNTY REGISTRY OF DEEDS**  
PLAN 549 OF 2005  
" 70 OF 1989

**NOTES**  
1) FIELD SURVEY PERFORMED: SEPTEMBER 17, 24, 2021 AND NOVEMBER 17, 2022.  
2) ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AS ESTABLISHED BY GPS OBSERVATIONS.

I HEREBY CERTIFY THAT:  
THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY AND PRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY.



LEGEND:	
AB	ASPHALT BERM
BC	BOTTOM OF CURB
BLDG	BUILDING
BP	BUMPER POST
CB	CATCH BASIN
CBND	CONCRETE BOUND NO DRILL
CLF	CHAIN LINK FENCE
CP	CONCRETE PAD
CONC	CONCRETE
CRW	CONCRETE RETAINING WALL
DMH	DRAIN MANHOLE
EMH	ELECTRIC MANHOLE
GC	GRANITE CURB
GG	GAS GATE
GM	GAS METER
HCR	HANDICAP RAMP
INV	INVERT
IP	IRON PIPE
LP	LIGHT POLE
MH	MANHOLE
O.H.	OVERHANG
OW	OVERHEAD
PBE	PULL BOX ELECTRIC
R	RIM ELEVATION
S	SEWER MANHOLE
SMH	SEWER MANHOLE
STY	STORY
TC	TOP OF CURB
TMH	TELEPHONE MANHOLE
TOC	TOP OF CONCRETE
TOW	TOP OF WALL
TRANS	TRANSFORMER
WG	WATER GATE
(F)	FOUND
○	TREE-DIAMETER AT BREAST HEIGHT
PM-"E"	PAINT MARK FOUND ELECTRIC
PM-"G"	PAINT MARK FOUND GAS
PM-"T"	PAINT MARK FOUND TELEPHONE
PM-"W"	PAINT MARK FOUND WATER



**UTILITY PLANS**  
VERIZON-SOM26  
CITY OF SOMERVILLE ENGINEERING DEPARTMENT

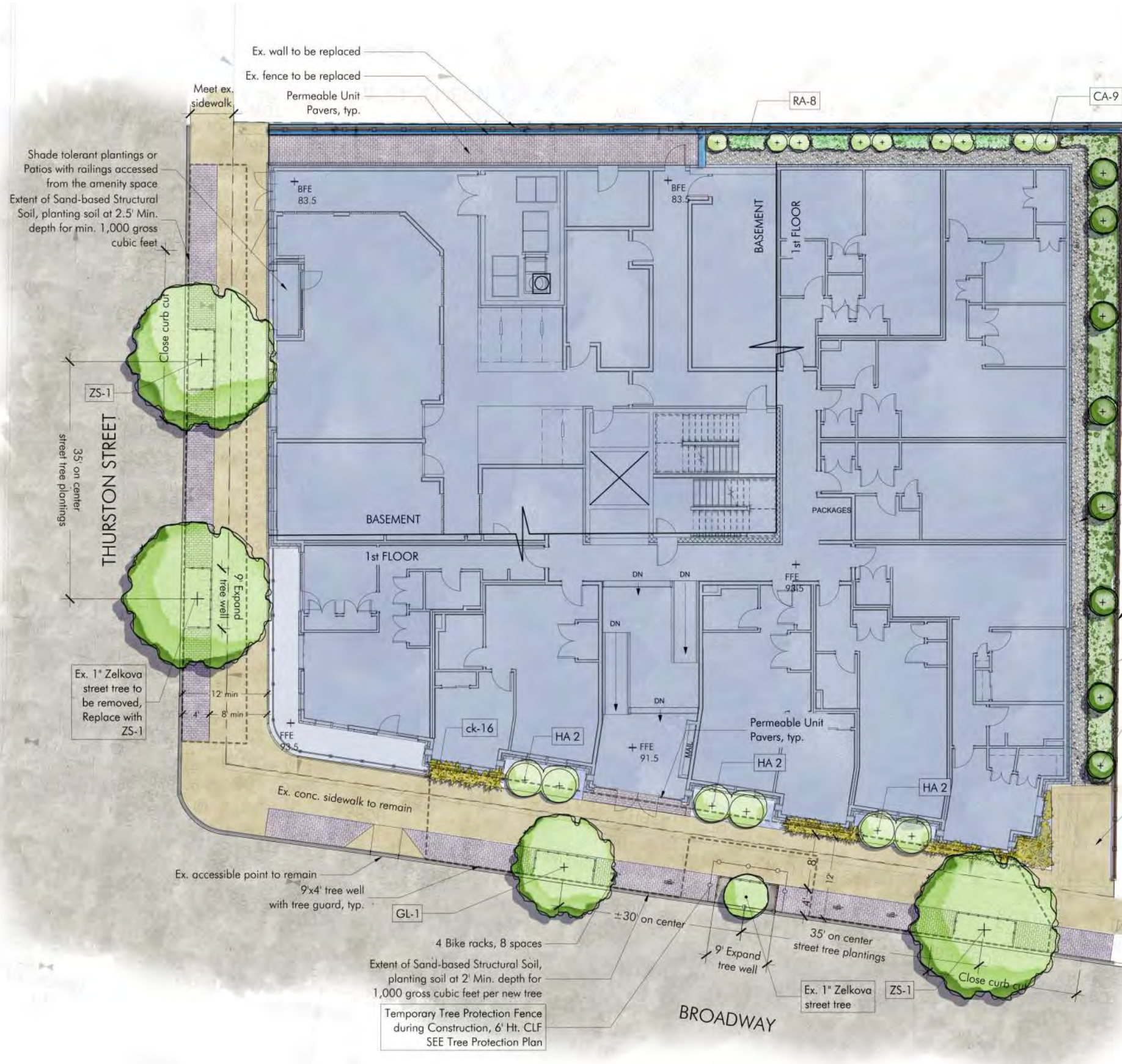
SECTION NO. 5 "WATER WORKS SYSTEM" DATED OCTOBER 1937  
BROADWAY SEWER "M-01" DATED JULY 23, 1890  
THURSTON STREET SEWER "J-13" DATED AUGUST 18, 1886

**UTILITY NOTES**  
THE PRINCIPAL GUIDELINES FOR UNDERGROUND UTILITY MAPPING ARE THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) CI/ASCE 38-02, STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA, 2003.

**UTILITY QUALITY LEVEL INFORMATION INDEX (ASCE/CI 38-02):**  
QUALITY LEVEL D: "QLD". UTILITY INFORMATION PLOTTED ON THE DRAWING BASED SOLELY ON RECORD INFORMATION, INDIVIDUAL RECOLLECTIONS OR THE EXISTENCE OF UTILITY SERVICE. IT SHALL BE NOTED THAT ALL INFORMATION SHOWN (OTHER THAN AT TEST HOLE LOCATIONS, SEE "QLA" BELOW), INCLUDE BUT NOT LIMITED TO UTILITY SIZE, CAPACITY, MATERIAL COMPOSITION, CONDITION OR SERVICE STATUS SHALL BE CONSIDERED "QLD" EVEN THOUGH THE UTILITY MAY BE PLOTTED AND LABELED AS "QLC" OR "QLB".  
QUALITY LEVEL C: "QLC". UTILITY INFORMATION OBTAINED AS ABOVE FOR QUALITY LEVEL D, PLOTTED TO CORRELATE WITH SURFACE UTILITY FEATURES WHICH HAVE BEEN FIELD VERIFIED, SURVEY LOCATED AND ACCURATELY REDUCED ONTO THE DESIGN/CONSTRUCTION DOCUMENTS. INCLUDED IN THIS CATEGORY ARE UTILITY DEPICTIONS, WHICH IN THE PROFESSIONAL OPINION OF THE SUBSURFACE UTILITY ENGINEER REPRESENT THE MOST PROBABLE APPROXIMATE HORIZONTAL LOCATION, TYPE AND/OR EXISTENCE OF A UTILITY.  
QUALITY LEVEL B: "QLB". UTILITY INFORMATION DERIVED BY ESTABLISHING THE SURFACE HORIZONTAL LOCATION OF A UTILITY USING ELECTRONIC METHODS. SAID INFORMATION IS SUBSEQUENTLY FIELD LOCATED AND ACCURATELY REDUCED ONTO THE DESIGN/CONSTRUCTION DOCUMENTS.  
QUALITY LEVEL A: "QLA". UTILITY INFORMATION WHICH HAS BEEN VISUALLY VERIFIED, SURVEY LOCATED (BOTH HORIZONTALLY AND VERTICALLY) AND ACCURATELY REDUCED ONTO THE DESIGN/CONSTRUCTION DOCUMENTS. THIS IS TYPICALLY SHOWN AS A TEST HOLE OR OTHER DIMENSIONED INFORMATION.

ALL UNDERGROUND UTILITIES SHOWN HEREON ARE QUALITY LEVEL "D" (QLD) PER ASCE STANDARD 38-02 DESIGNATION UNLESS OTHERWISE NOTED. THEY ARE APPROXIMATE ONLY AND WERE COMPILED ACCORDING TO AVAILABLE RECORDS FROM THE VARIOUS COMPANIES AND PUBLIC AGENCIES. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, REPAIRING OR OTHER CONSTRUCTION, ALL UTILITY COMPANIES MUST BE NOTIFIED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS CALL "DIG-SAFE" AT 1-888-344-7233 OR DIAL 811. DGT SURVEY GROUP ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE FUTURE CONNECTIONS, THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS MUST BE CONSULTED.





PROPOSED PLANT LIST						
SYMB	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES	
TREES						
GL	1	Gleditsia triacanthos 'Street Keeper'	Columnar Honey Locust	2.5-3' cal.	B&B	native, Fall Dig Hazard
LSS	8	Liquidambar styraciflua 'Slender silhouette'	Fastigate Sweetgum	3-3.5' cal.	B&B	native, Fall Dig Hazard
ZS	2	Zelkova serrata 'Village Green'	Japanese Zelkova	2.5-3' cal.	B&B	Fall Dig Hazard
SHRUBS (all ≥ 2' height unless otherwise noted)						
CA	9	Clethra alnifolia 'Hummingbird'	Summersweet	5 gal.	Pots	native
HA	6	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	Pots	native
RA	8	Rhus aromatica 'Gro-Low'	Fragrant Sumac	3 gal.	Pots	native, <2' ht.
PERENNIALS (all <2' height)						
ck	16	Calamagrostis acutiflora 'Karl Foerster'	K. Foerster Feather Reed Grass	2 gal.	Pots	
dp	70	Dennstaedia punctilobula	Hay-Scented Fern	1 gal.	Pots, 24" o.c.	native



Liquidambar styraciflua 'Slender Silhouette',  
Fastigate Sweetgum



Clethra alnifolia 'Hummingbird'  
Summersweet



Rhus aromatica 'Gro-Low'  
Fragrant Sumac



Hydrangea arborescens 'Annabelle'  
Annabelle Hydrangea





Existing Zelkova serrata  
'Village Green' (Broadway)



Zelkova serrata 'Village Green'  
Japanese Zelkova



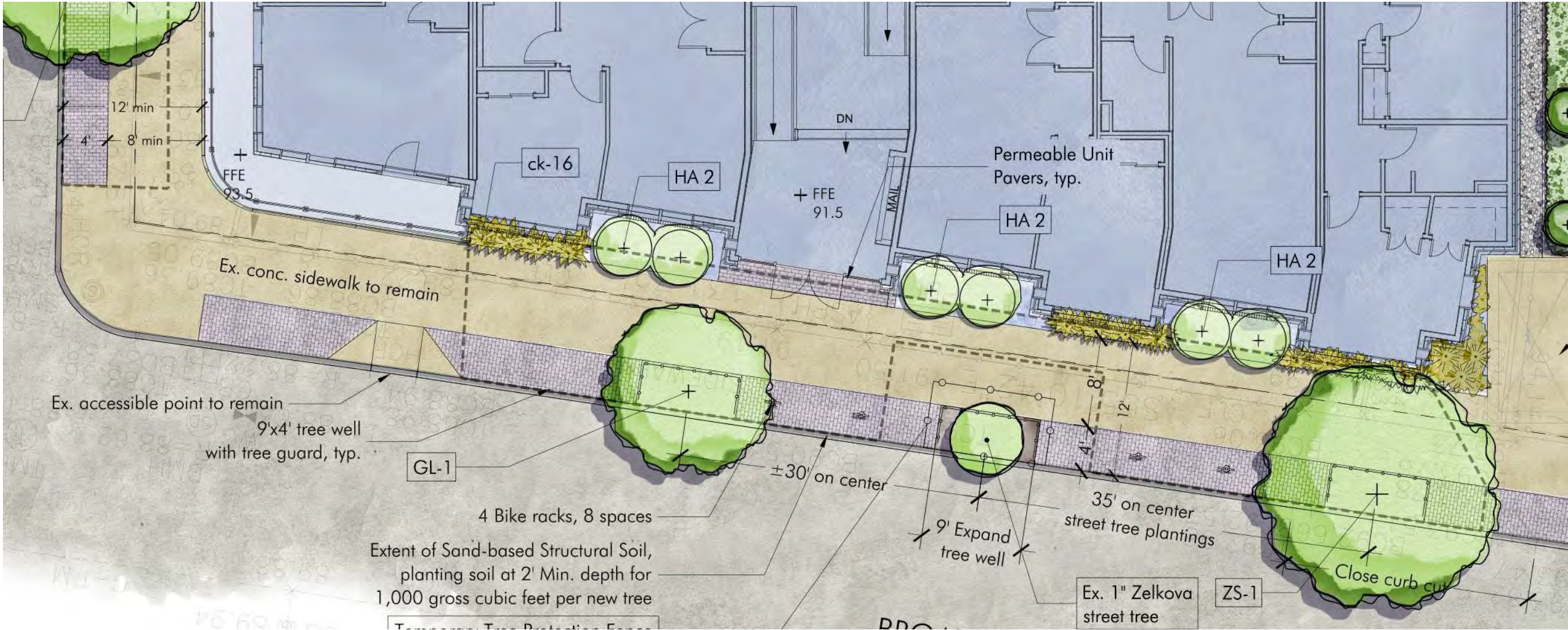
Tree trench with permeable pavers



Tree guard for protecting street tree plantings



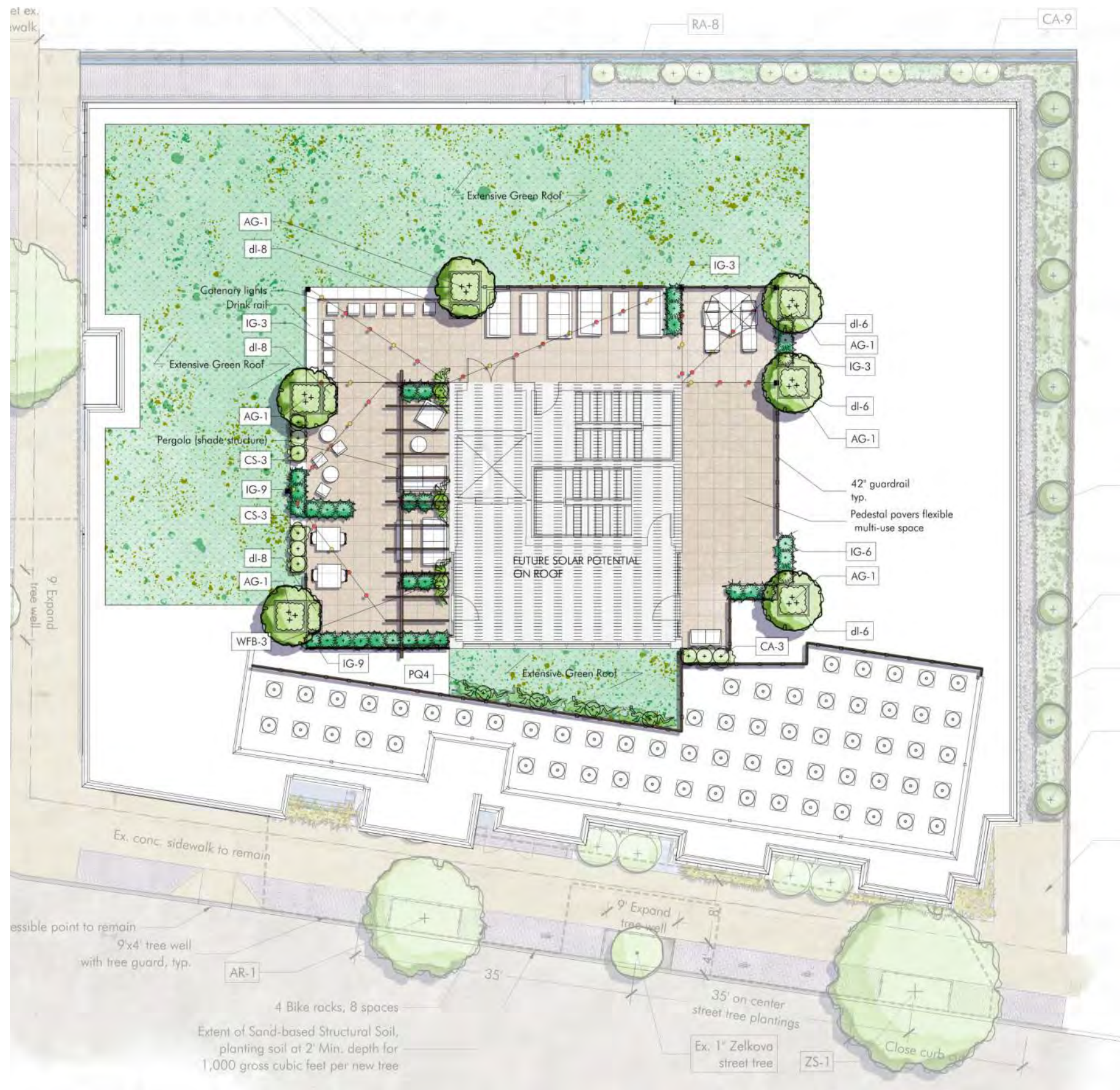
Permeable Unit Pavers, Eco-Priora by Unilock OR approved equal



Somerville City-Standard  
Visitor Bike Rack with City  
Icon, Hoop by Dero OR  
approved equal







PROPOSED PLANT LIST						
SYMB	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES	
SHRUBS (all ≥ 2' height)						
AG	6	Amelanchier x grandiflora 'Autumn Brilliance'	Serviceberry	2-2.5" Cal.	B&B	multi-stem
CA	3	Clethra alnifolia 'Hummingbird'	Summersweet	5 gal.	Pots	native
CS	6	Cornus sericea 'Arctic Fire'	Red Twig Dogwood	3 gal.	Pots	native
IG	30	Ilex glabra 'Gem Box'	Dwarf Inkberry	3 gal.	Pots	native
PQ	4	Parthenocissus quinquefolia	Virginia Creeper	3 gal.	Pots	native
WFB	3	Wisteria frutescens 'Blue Moon'	American Wisteria-lavender blue	5 gal.	Pots	
PERENNIALS (all <2' height)						
dl	42	Dianthus 'Lionheart'	Pink Lionheart Dianthus	1 qt	Pots	native



Amelanchier x grandiflora 'Autumn Brilliance' Serviceberry



Wisteria frutescens 'Blue Moon' American Wisteria Lavender Blue



Ilex glabra 'Gem Box' Dwarf Inkberry



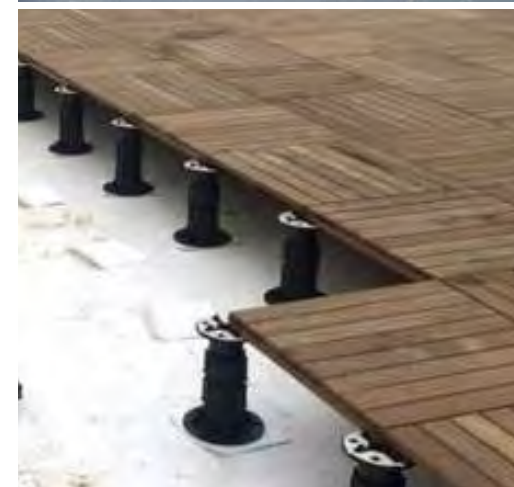
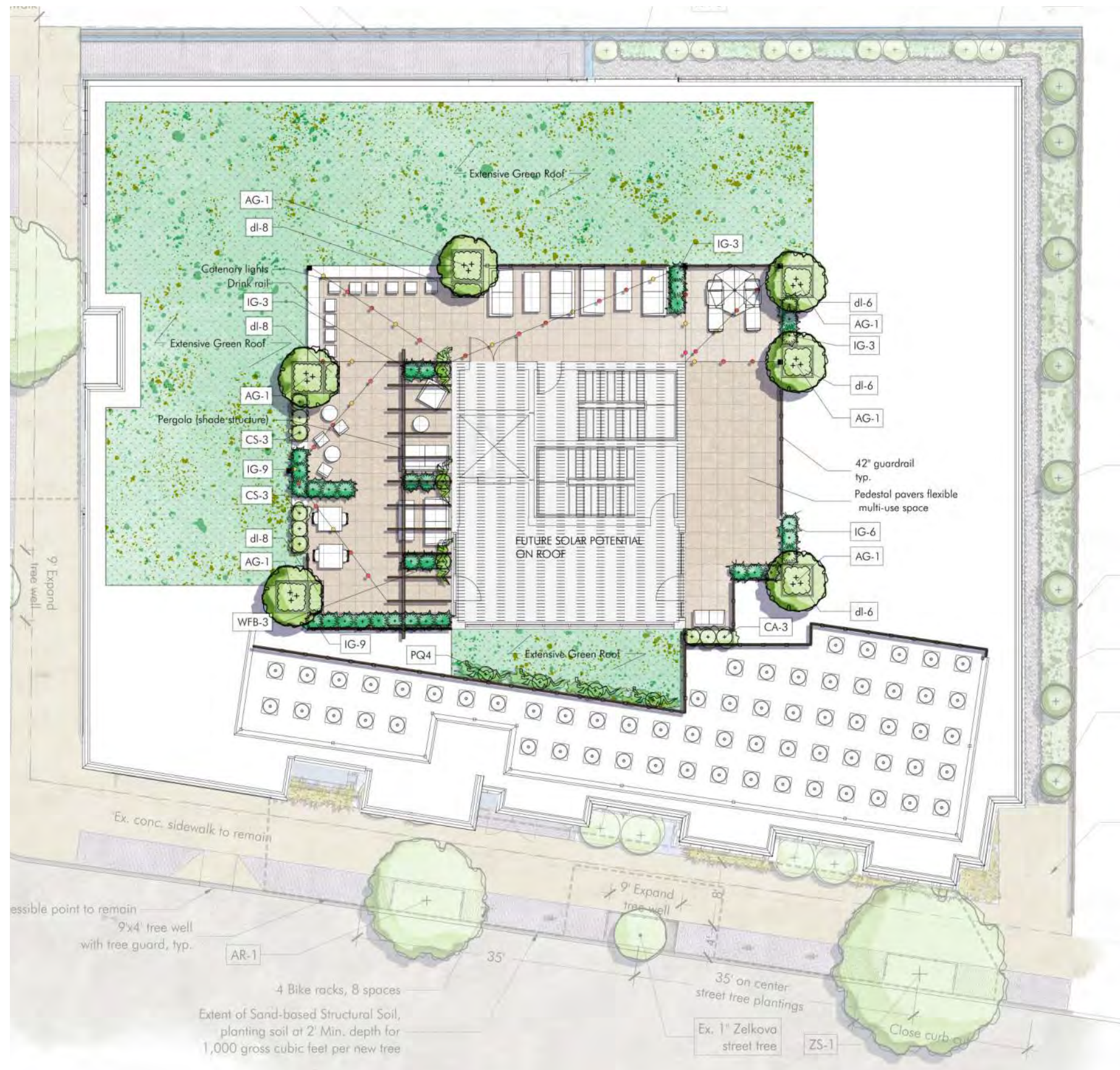
Cornus sericea 'Arctic Fire' Red Twig Dogwood



Clethra alnifolia 'Hummingbird' Summersweet







Pedestal Paving System



Extensive Greenroof System with Sedum



Catenary Lights



Pergola, shade structure





Somerville Green Score: 366 BROADWAY

		Area or Number						
		13,495	Sq Ft Credit	Multiplier	Weighted Area	Score Value		
A	Soils							
	Landscaped area with a soil depth less than 24 inches	0	actual sq ft	0.3	0	0.000		0%
	Landscaped area with a soil depth equal to or greater than 24 inches	835	actual sq ft	0.6	501	0.037		12%
	Pervious Paving with 6 to 24 inches of subsurface soil or gravel	295	actual sq ft	0.2	59	0.004		1%
B	Pervious Paving with more than 24 inches of subsurface soil or gravel	310	actual sq ft	0.5	155	0.011		4%
C	Groundcovers							
	Turf grass, mulch, and inorganic surfacing materials	0	actual sq ft	0.1	0	0.000		0%
	Plants							
	Vegetation less than two (2) feet tall at maturity	470	actual sq ft	0.2	94	0.007		2%
D	Vegetation at least two (2) feet tall at maturity	15	12	0.3	54	0.004		1%
E	Trees							
	Small Tree	0	50	0.6	0	0.000		0%
	Large Tree	8	450	0.6	2160	0.160		51%
	Preserved Tree	0	65	0.8	0	0.000		0%
F	Engineered Landscape							
	Vegetated Wall		actual sq ft	0.1	0	0.000		0%
	Rain gardens, bioswales, and stormwater planters		actual sq ft	1.0	0	0.000		0%
	Green Roof with up to 6" of growth medium		actual sq ft	0.1	0	0.000		0%
	Green Roof with 6"-10" of growth medium	2940	actual sq ft	0.4	1176	0.087		28%
	Green Roof of 10"-24" growth medium		actual sq ft	0.6	0	0.000		0%
G	Green Roof of over 24" growth medium	N/A	Calculate as if soils, groundcovers, plants, and trees					N/A

Green Score = 0.311

Required Score:  
Target Score:  
Actual Green Score:

Green Score District Requirements			
NR & UR	MR3 & MR4	MR5, MR6, & HR	FAB, CC, CB, CI
0.35	0.25	0.20	0.20
0.40	0.3	0.25	-
0.311	0.311	0.311	0.311

KEY PLAN: AT GRADE

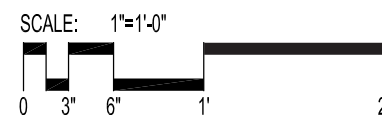
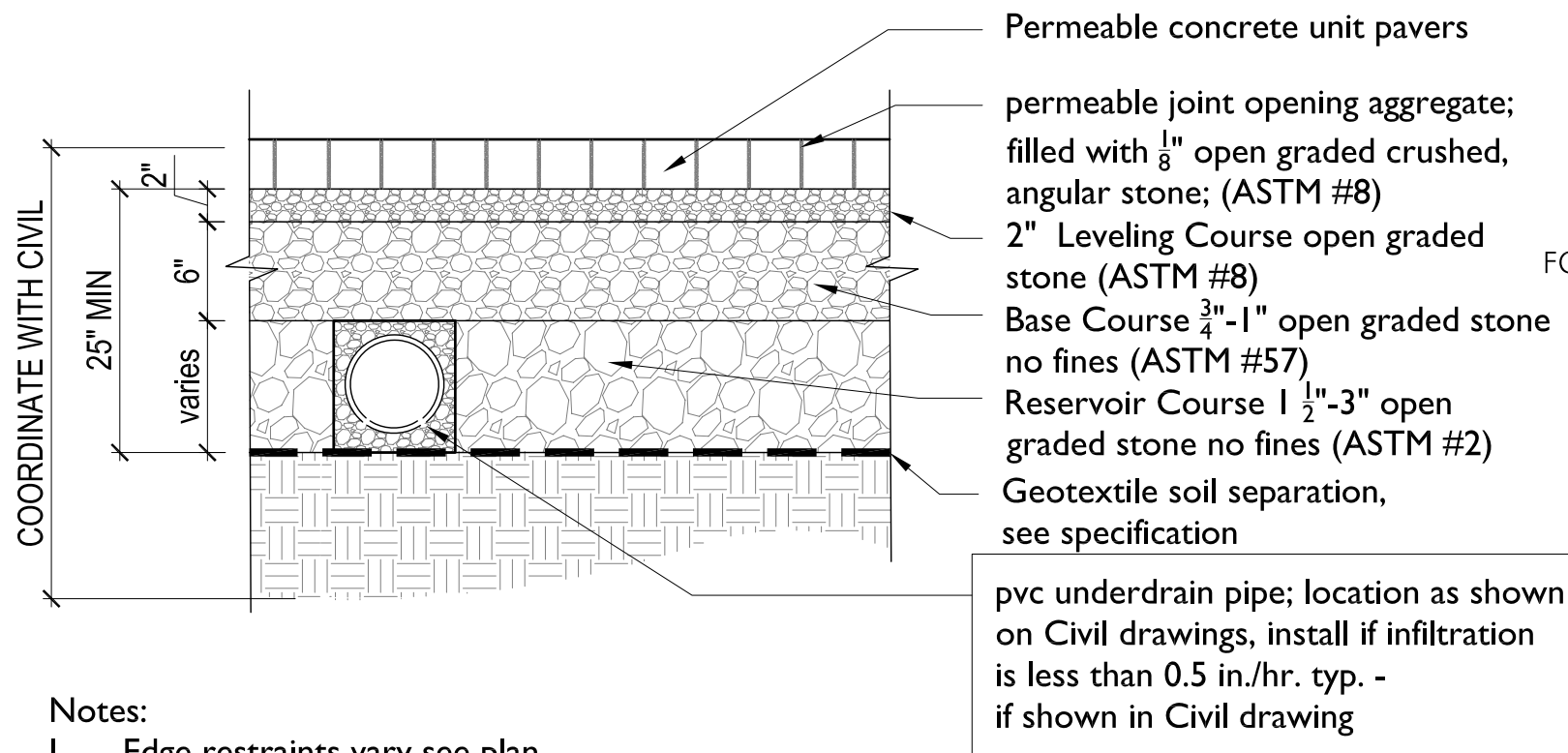


KEY PLAN: ROOF DECK

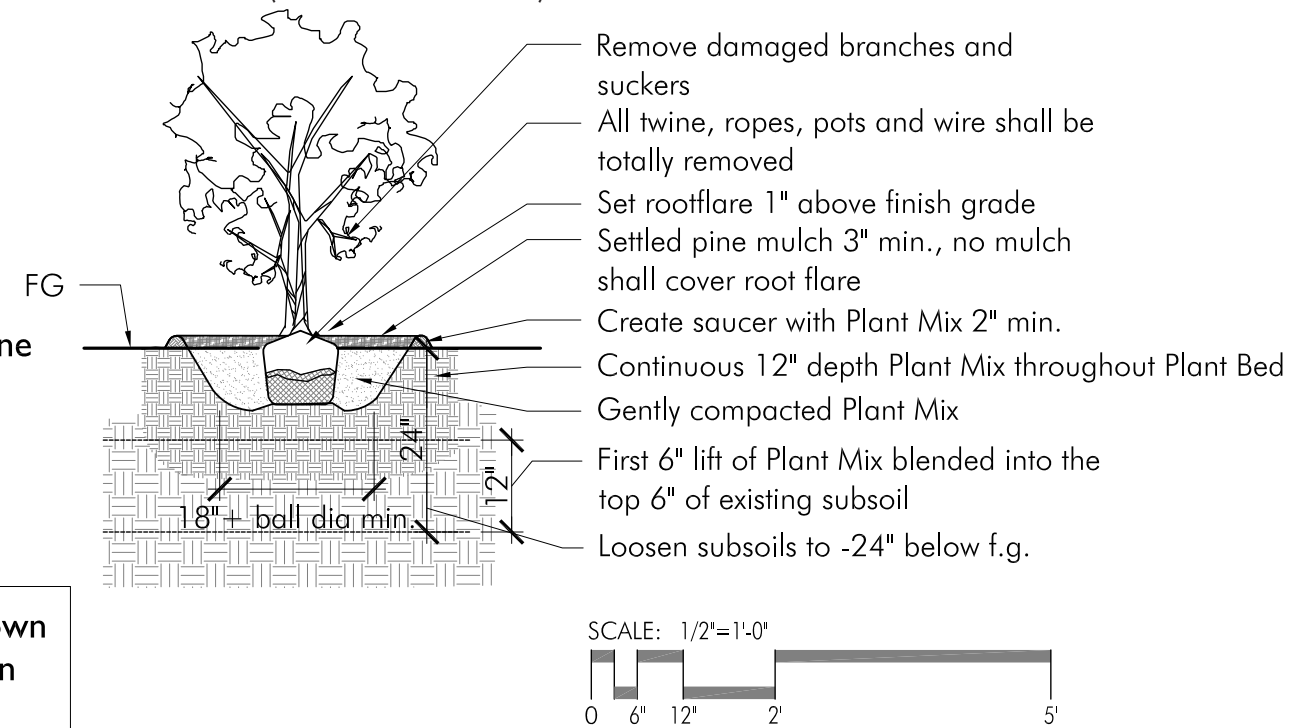




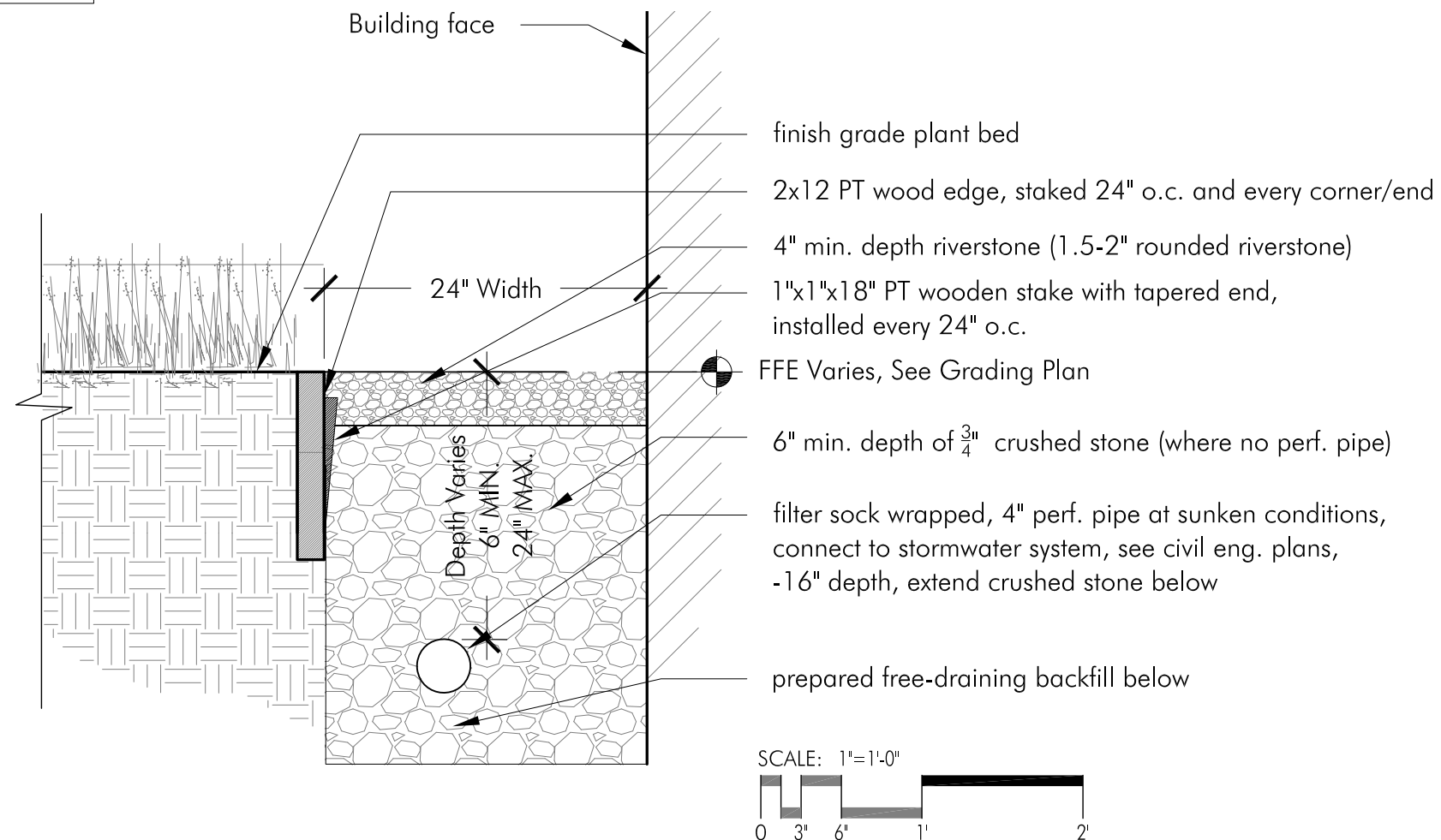
## PERVIOUS UNIT PAVER DETAIL



## TYPICAL PLANT (TREE OR SHRUB) DETAIL

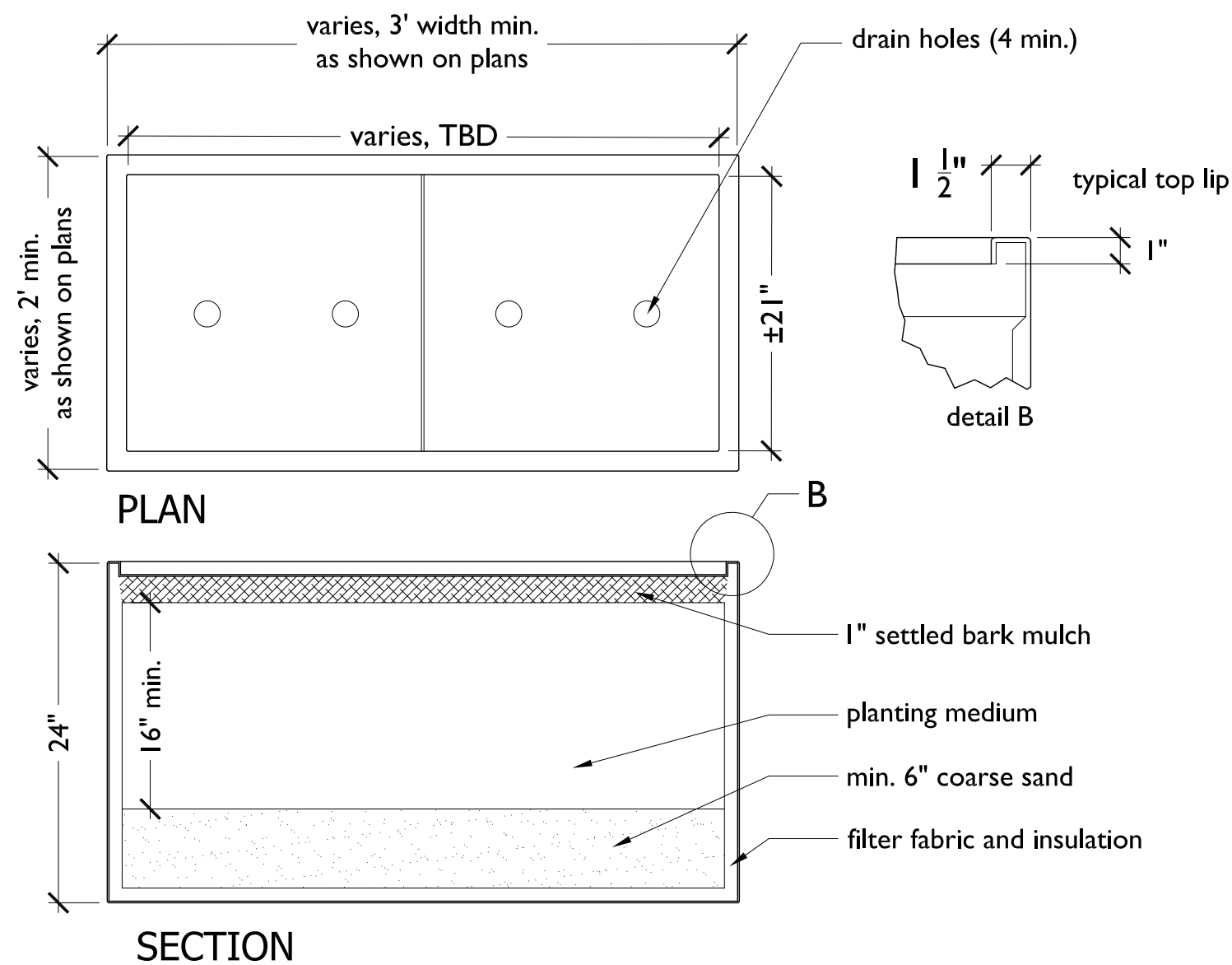


## PERVIOUS CRUSHED STONE MAINTENANCE EDGE

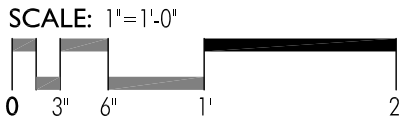




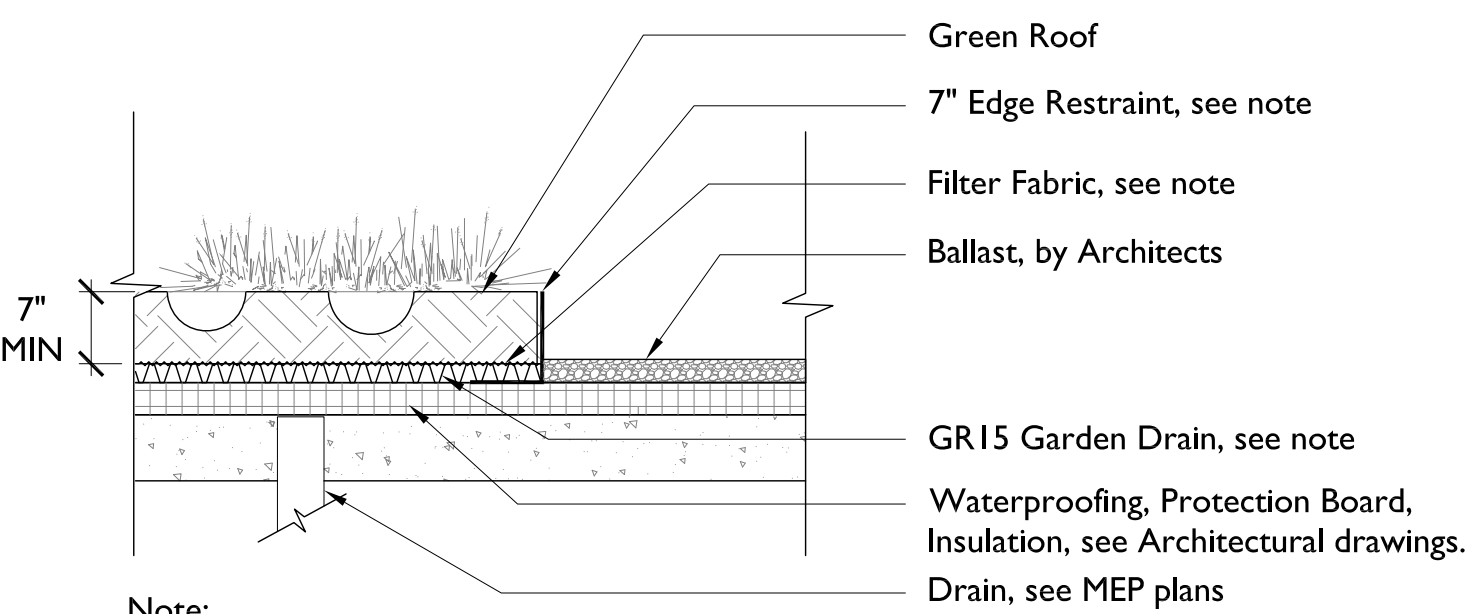
LIGHTWEIGHT PLANTER



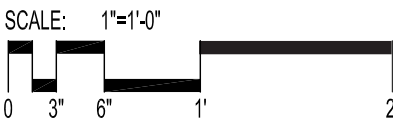
- Note:
1. Wilshire Planter by Tournesol
  2. Provide 4 drain holes.
  3. Provide 1" insulation on interior walls and bottom (with drain holes). Align holes for clear drainage.
  4. Filter fabric shall extend to -2" from top lip.
  5. Color and texture shall be approved by LA
  6. See Specification



EXTENSIVE GREEN ROOF DETAIL

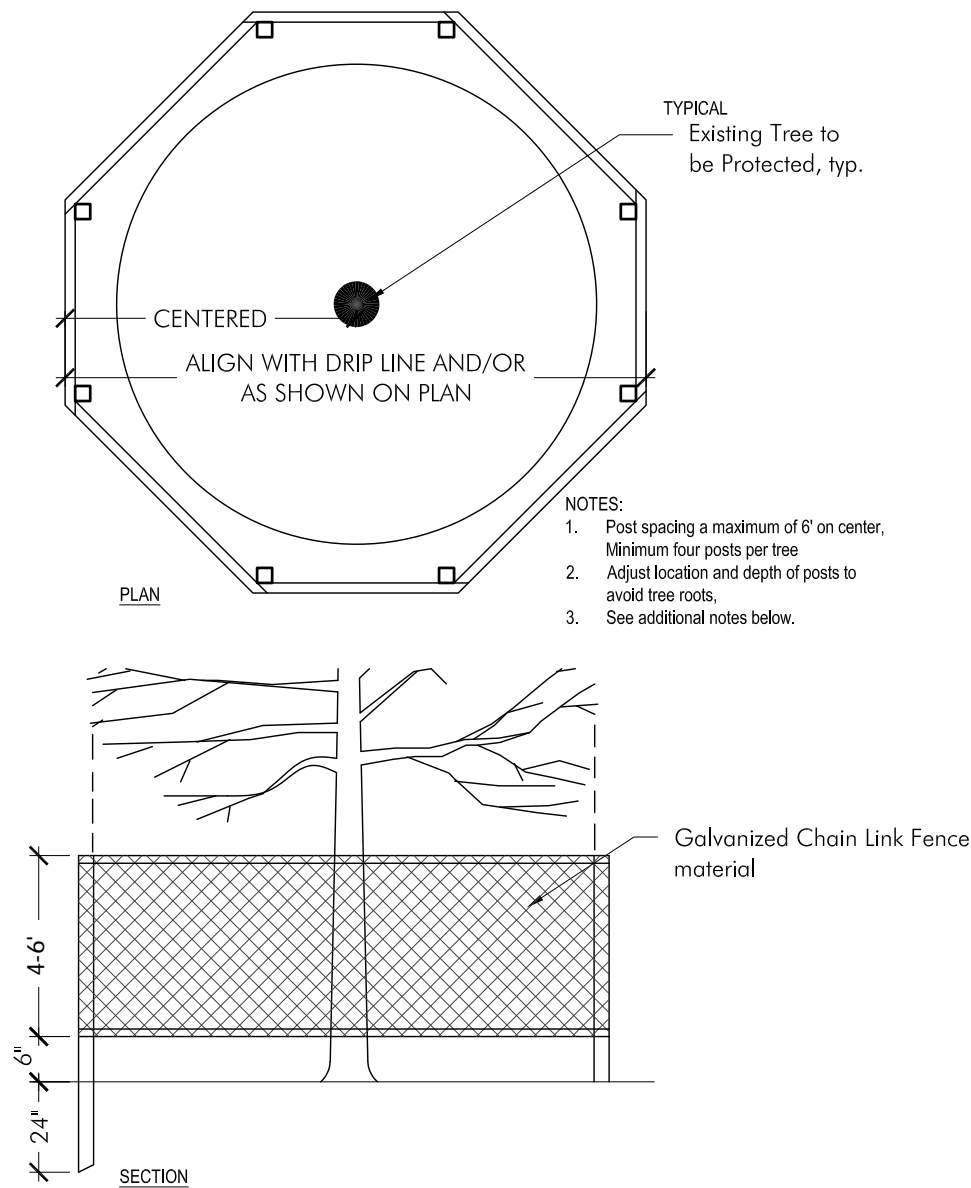


- Note:
1. Sedum Sod by Hydrotech or similiar
  2. Edge Restraint by Permaloc
  3. Drainage Mat by Hydrotech GR-I5 or similiar



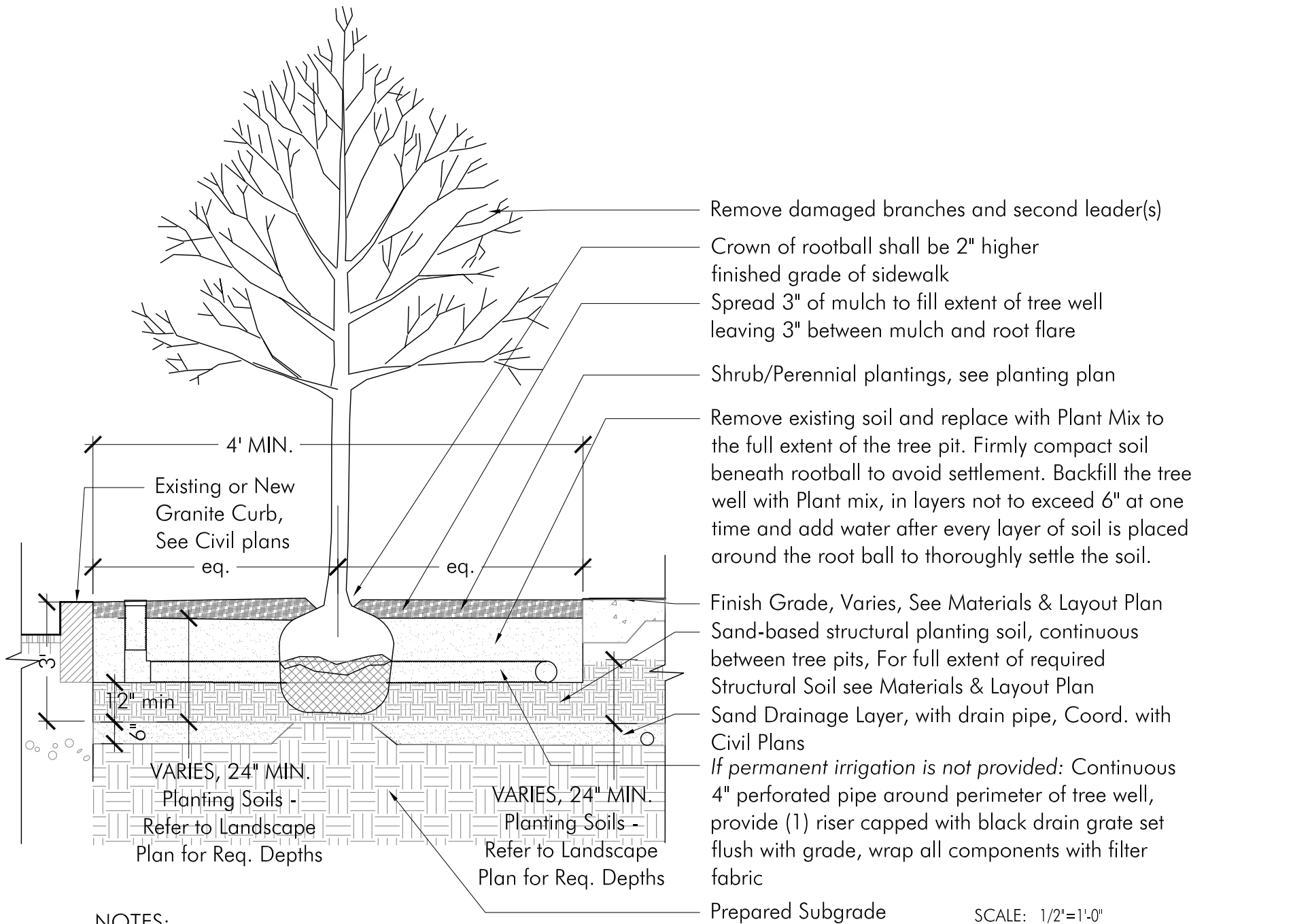


TREE PROTECTION DETAIL

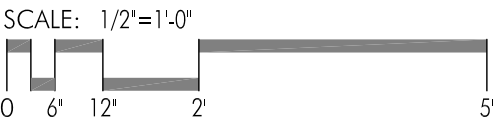


- NOTES:
1. Installed tree protection must be in place prior to any work (including demolition), and approved by landscape architect. tree protection to remain in place throughout construction. remove for final landscape treatment, after approval by landscape architect.
  2. Adjust location of tree protection within tree dripline only when necessary to perform work shown on drawings.
  3. Stockpiling of soils, storing of materials, parking of vehicles or location of temporary structures shall not occur at any time within the dripline of trees to remain.
  4. All work within drip line must be done by hand.
- N.T.S

NEW STREET TREE PLANTING WITH STRUCTURAL SOILS DETAIL

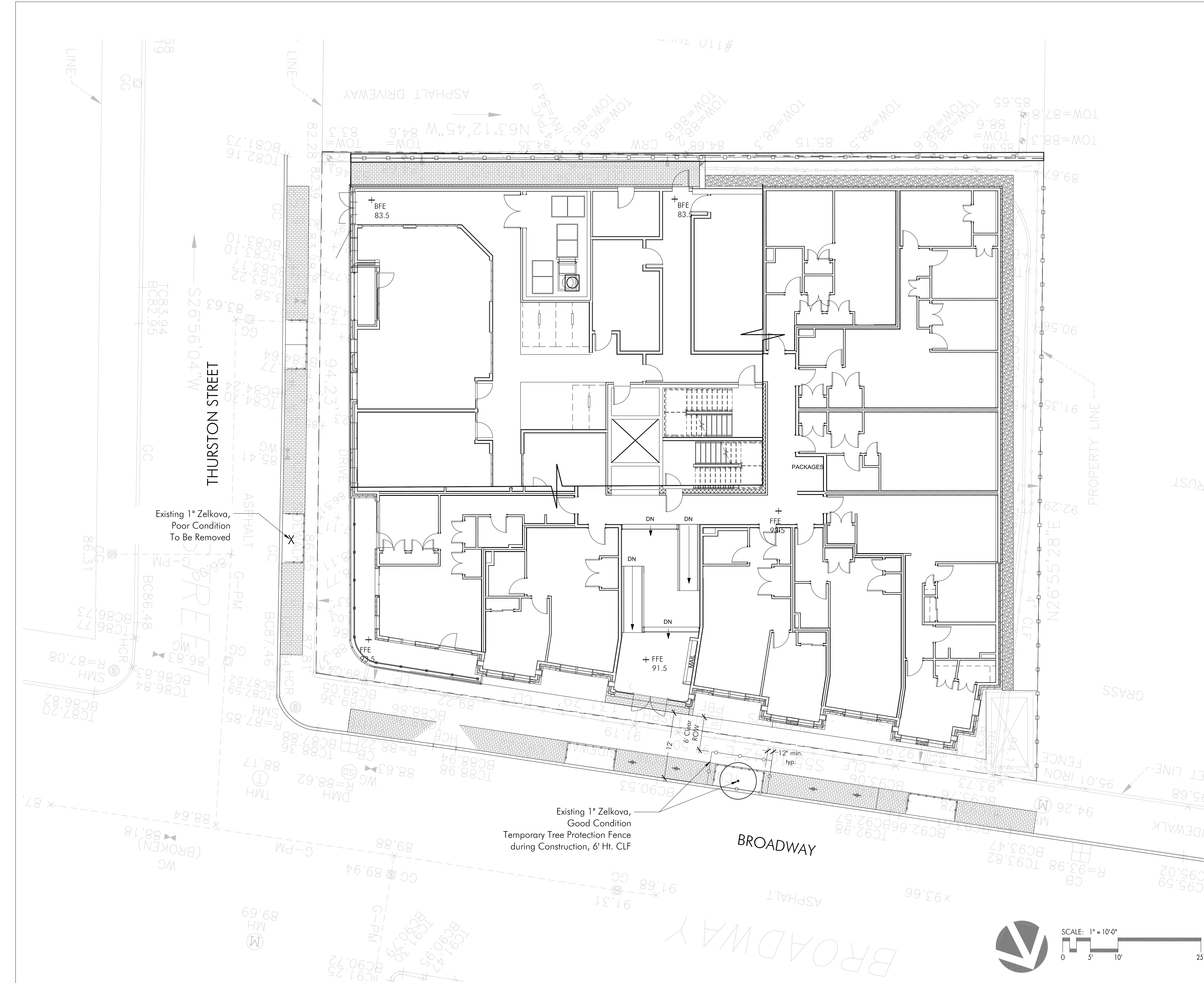


- NOTES:
1. Gently remove excess soil around root flare which may have collected during tree spading/B + B operations.
  2. Provide wooden stakes (3 per tree) and guy wire (rubber hose cover at trunk) in windy locations and as site conditions require, as directed by Landscape Architect.





Y:\Broadway\366\GAD\BROADWAY.dwg



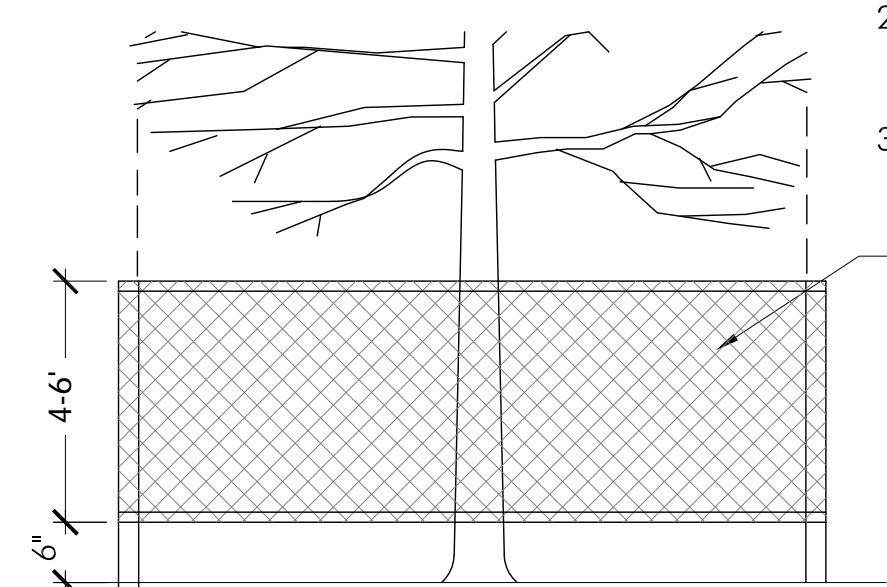
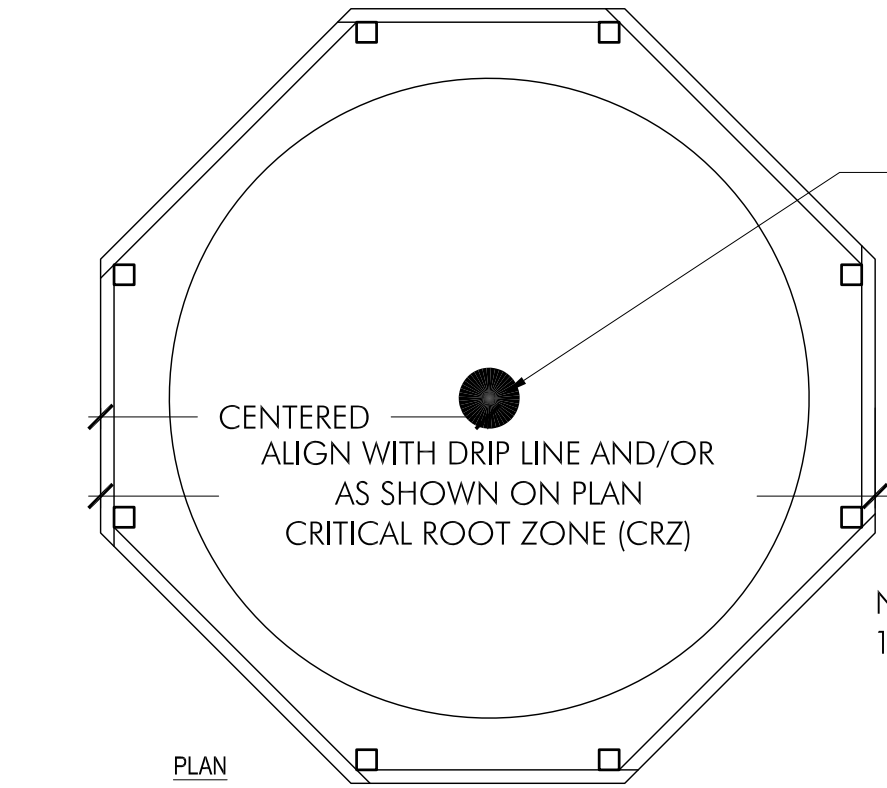
Tree Protection Prior to Site Work:

1. Prior to initiating site work, the Contractor shall install a 4' ht. chain link construction fence as shown on the plan to establish the Tree Protection Zone (TPZ). The Contractor shall not enter the tree protection zone with equipment, store equipment or materials within the TPZ for the duration of the construction project. The TPZ shall be maintained throughout the construction period and may only be removed as specifically directed by the Landscape Architect or Town Tree Warden.
2. In locations where excavation and construction work will be within the Tree Protection Zone (TPZ), the Contractor shall meet with the Landscape Architect to describe the scope of excavation or filling. Equipment shall not operate within the TPZ except as approved and directed by Landscape Architect. Typically, equipment shall set up and operated from beyond the TPZ. This may involve some adjustment in the location of chain link fencing.
3. A certified arborist shall be hired to cut and prune limbs and branches that may hinder construction operations or overhang the proposed building.
4. Install 2 to 3 inches of woodchip mulch or a blend of composted woodchips and bark mulch over the entire TPZ or 30' from the tree protection fence-- which ever is less.
5. The tree protection fence shall not be removed until the end of the construction of the buildings at such time as the lawn work and plantings work is initiated. The Contractor shall request and get approval to remove the tree protection fence by the Landscape Architect.
6. The Contractor shall set up and provide a temporary irrigation system in all the TPZ areas as directed by the Landscape Architect or Arborist. During the growing season (June 1 through October 1), the irrigation system shall supply 1" of water after any period of over 1 week when there is no natural rainfall. This added water will support vigorous tree growth allowing the tree to recover from the root damage from construction.

TREE SURVEY			
Species	DBH (inches)	Heath	To Remain + To Protect
Zelkova	1"	Good	To Remain + To Protect
Zelkova	1"	Poor/ Damaged	To Be Removed

\*Existing DBH as measured on-site February 2022

DBH = Diameter at Breast Height = trunk diameter in inches measured 4 1/2 feet from the ground



Note:

1. Post spacing a maximum of 6' on center, minimum four posts per tree
2. Adjust location and depth of posts to avoid tree roots,
3. See additional notes below.

Galvanized Chain Link Fence material

NOTES:

1. Installed tree protection must be in place prior to any work (including demolition), and approved by landscape architect. tree protection to remain in place throughout construction. remove for final landscape treatment, after approval by landscape architect.
2. Adjust location of tree protection within tree dripline only when necessary to perform work shown on drawings.
3. Stockpiling of soils, storing of materials, parking of vehicles or location of temporary structures shall not occur at any time within the dripline of trees to remain.
4. All work within drip line must be done by hand.

CHAIN LINK TREE PROTECTION FENCE  
SCALE: NTS

1



366 BROADWAY  
SOMERVILLE, MA

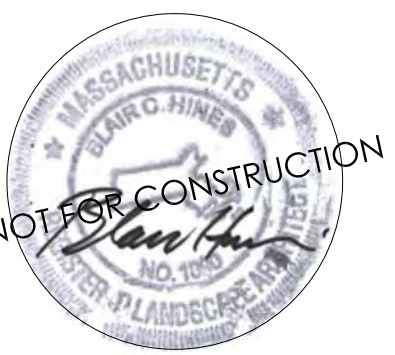
TREE PROTECTION PLAN

Project #:	Date: 03/24/2023
Drawn by: JN	Reviewed: BH
Scale: As noted	

Revisions:

L9





366 BROADWAY  
SOMERVILLE, MA

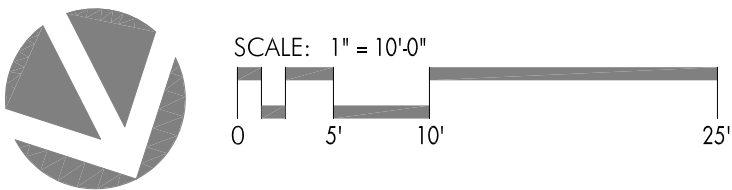
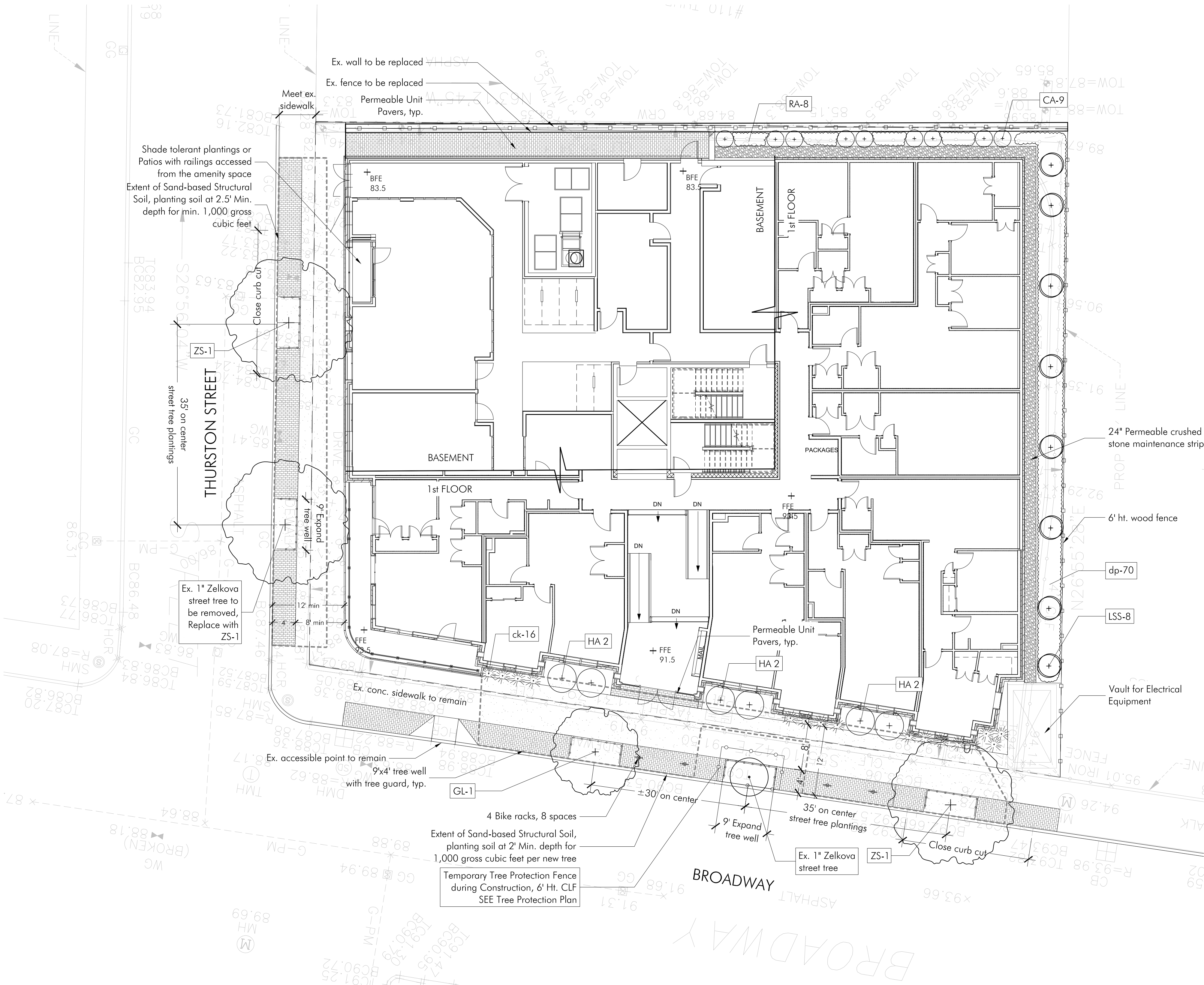
LANDSCAPE PLAN

Project #:	Date: 03/24/2023
Drawn by: JN	Reviewed: BH
Scale: As noted	

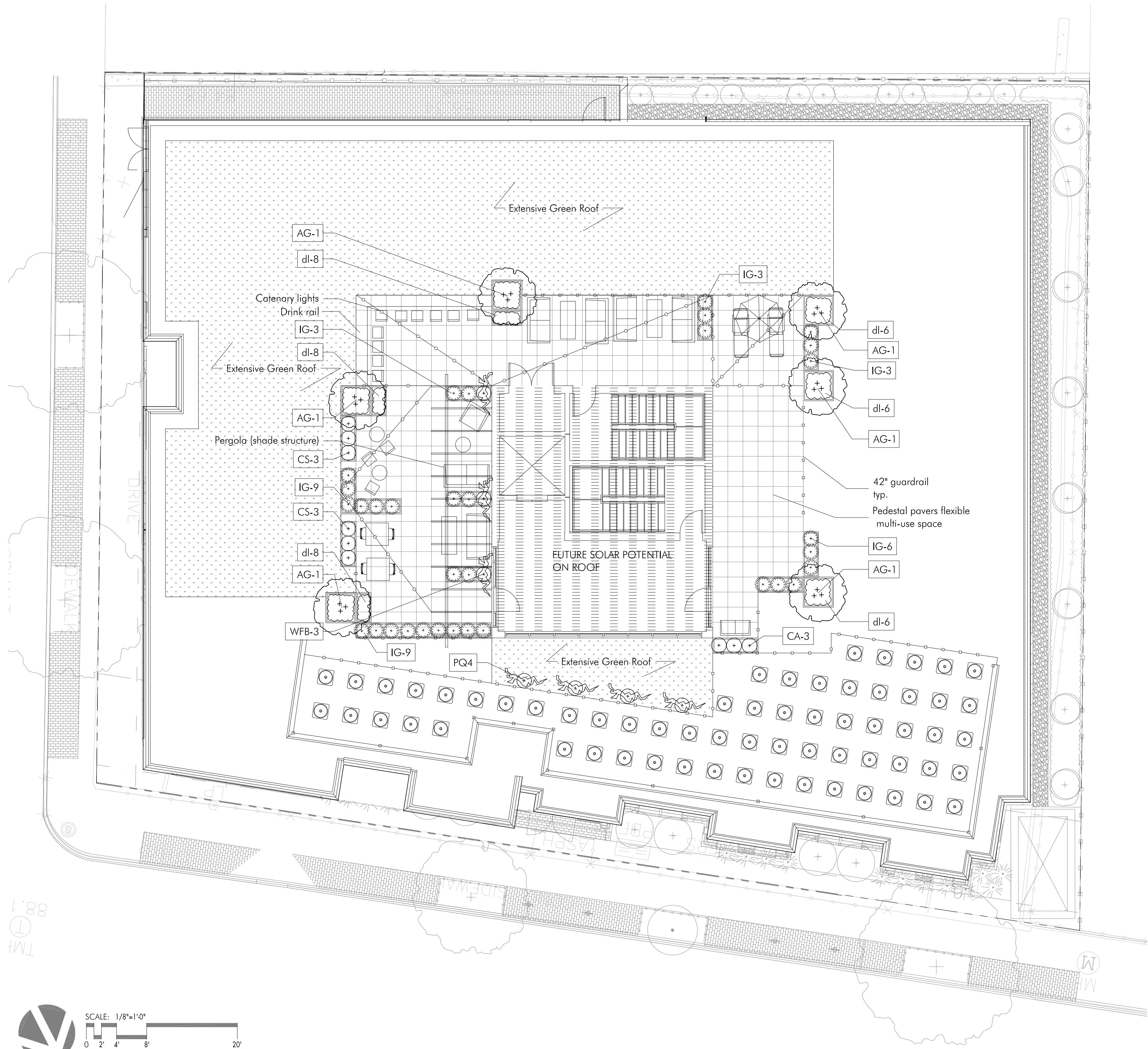
Revisions:

LO

PROPOSED PLANT LIST					
SYMB	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
GL	1	Gleditsia triacanthos 'Street Keeper'	Columnar Honey Locust	2.5-3" cal.	B&B native, Fall Dig Hazard
LSS	8	Liquidambar styraciflua 'Slender silhouette'	Fastigiate Sweetgum	3-3.5" cal.	B&B native, Fall Dig Hazard
ZS	2	Zelkova serrata 'Village Green'	Japanese Zelkova	2.5-3" cal.	B&B Fall Dig Hazard
SHRUBS (all ≥ 2' height unless otherwise noted)					
CA	9	Clethra alnifolia 'Hummingbird'	Summersweet	5 gal.	Pots native
HA	6	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	Pots native
RA	8	Rhus aromatica 'Gro-Low'	Fragrant Sumac	3 gal.	Pots native, <2' ht.
PERENNIALS (all <2' height)					
ck	16	Calamagrostis acutiflora 'Karl Foerster'	K. Foerster Feather Reed Grass	2 gal.	Pots
dp	70	Dennstaedia punctilobula	Hay-Scented Fern	1 gal.	Pots, 24" o.c. native







PROPOSED PLANT LIST					
SYMB	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
SHRUBS (all ≥ 2' height)					
AG	6	Amelanchier x grandiflora 'Autumn Brilliance'	Serviceberry	2-2.5" Cal.	B&B multi-stem, native
CA	3	Clethra alnifolia 'Hummingbird'	Summersweet	5 gal.	Pots native
CS	6	Cornus sericea 'Arctic Fire'	Red Twig Dogwood	3 gal.	Pots native
IG	30	Ilex glabra 'Gem Box'	Dwarf Inkberry	3 gal.	Pots native
PQ	4	Parthenocissus quinquefolia	Virginia Creeper	3 gal.	Pots native
WFB	3	Wisteria frutescens 'Blue Moon'	American Wisteria-lavender blue	5 gal.	Pots
PERENNIALS (all <2' height)					
dl	42	Dianthus 'Lionheart'	Pink Lionheart Dianthus	1 qt	Pots native



366 BROADWAY  
SOMERVILLE, MA

ROOF DECK PLAN

Project #:	Date: 03/23/2023
Drawn by: JN	Reviewed: BH
Scale: As noted	

Revisions:

LRO





318 Harvard Street  
Suite 25  
Brookline, MA 02446  
617.735.1180  
Verdantla.com

366 Broadway  
Somerville, MA

March 24, 2023

Dear Andrew, Vanessa, Cortney, and Whomever Else this May Concern,

Please see below our responses to the City review comments received via email in regard to our previous submission, all comments dated March 20, 2023.

From: Andrew Graminski <[agraminski@somervillema.gov](mailto:agraminski@somervillema.gov)>  
Sent: Monday, March 20, 2023 8:46:21 AM  
To: Evan Stellman <[estellman@tkgeast.com](mailto:estellman@tkgeast.com)>; Nicholas Zozula <[nzozula@mqmlp.com](mailto:nzozula@mqmlp.com)>  
Cc: Joseph Hanley <[jhanley@mqmlp.com](mailto:jhanley@mqmlp.com)>  
Subject: RE: 366 Broadway (P&Z 21-175) - Project Planner Change

Forwarding comments from Vanessa with PSUF:

- 20230317 PSUF vb \*\* COMPLETE\*\* - 20230210 PSUF vb – City policy is to keep new trees at least 20 feet from crosswalks (see attached planting policy document). It appears that one of the new street trees on Broadway will be closer than 20 feet. Location should be adjusted to maintain 20 feet from crosswalk. This will reduce the spacing between the existing Zelkova and the new one. If spacing will be less than 30 feet, a smaller or narrower species should be planted.
- 20230317 PSUF vb \*\* COMPLETE\*\* - 20230210 PSUF vb – Tree protection details are required for existing street trees (CK also notes this).
- 20230317 PSUF vb \*\* COMPLETE\*\* - 20230210 PSUF vb – (recommendation only) Liquidambar styraciflua 'Slender silhouette' are quite narrow, and could be planted more densely for better screening.
- 20230317 PSUF vb - Red maple is very sensitive to salt, and may not do well in this location. Consider Nyssa sylvatica or Honeylocust. Both species have narrow form cultivars if necessary.
- 20230317 PSUF vb - New Street Tree Planting with Structural Soil Detail: what is the purpose of the "Continuous 4" perforated pipe around perimeter of tree well..."? If it is for aeration, please omit. If it will be used for watering, then can consider keeping it.
- 20230317 PSUF vb - Tree Protection Detail provided on Sheet L8 is acceptable, but layout of protection is not shown on plan. If sidewalk is to remain open to the public during construction, ensure that placement of tree protection does not inhibit sidewalk accessibility.

Andrew Graminski (He/Him)  
Planner  
City of Somerville

From: Andrew Graminski <[agraminski@somervillema.gov](mailto:agraminski@somervillema.gov)>  
Sent: Monday, March 20, 2023 3:13 PM  
To: Evan Stellman <[estellman@tkgeast.com](mailto:estellman@tkgeast.com)>  
Subject: RE: 366 Broadway (P&Z 21-175) - Project Planner Change

Evan,

Please forward these comments from Cortney Kirk to the landscape team:

- 20230320 – PSUF ck – Applicant response does not adequately demonstrate that their proposed project will protect the City street trees during construction. Please submit a plan (Tree Protection Plan) of the property and right-of-way with a tree protection fence around each City tree to be protected. 20230207 - PSUF ck – Applicant must submit a tree plan with existing to remain trees including a table with species, DPB, health condition and include tree protection details for trees to remain.
- 20230320 PSUF ck \*\* COMPLETE\*\* 20230207 - PSUF ck – Applicant must submit stamped drawings by a MA Landscape Architect. Submitted landscape drawings are not stamped.
- 20230320 – PSUF ck Refer to comments provided by Vanessa Boukili on 20230320 -- 20230207 - PSUF ck -- Applicant must submit tree planting details for new street tree plantings.
- 20230320 PSUF ck \*\* COMPLETE\*\* 20230207 - PSUF ck -- Applicant must submit plans that show new street trees are receiving minimum of 1,000 gross cubic feet of planting soil.
- 20230320 PSUF ck – Applicant must submit request in writing to the Director of Public Space & Urban Forestry Luisa Oliveira to use structural soils for 366 Broadway -- 20230207 - PSUF ck -- Applicant must request permission to use structural soils if that is the intent of the applicant for the streetscapes.
- 20230320 PSUF ck \*\* COMPLETE\*\* 20230207 - PSUF GS ck -- In order to verify green score square footages, applicant must submit landscape drawings at a specified scale. Not to scale (N.T.S.) is not acceptable.
- 20230320 PSUF ck Applicant is still applying bonus credit to both "Plants" categories on the Green Score Card, yet comments from Applicant state they deleted bonus credits. Please identify the bonus credit(s) the Applicant is seeking or properly revise the scorecard. Project does not meet the required score removing bonus from multipliers. 20230207 - PSUF GS ck -- Applicant must identify the bonus credit(s) they are seeking for "Plants" and "Trees."
- 20230320 PSUF ck \*\* COMPLETE, APPLICANT NO LONGER SEEKING "SMALL TREE" CREDIT FOR ROOF\*\* 20230207 - PSUF GS ck -- Applicant must submit additional details for trees planted on a roof top. In order for a rooftop tree to receive credit as a "Small Tree" applicant must submit rooftop tree planting details indicating a sufficient amount of soil volume and depth to support the type of tree proposed.
- 20230320 PSUF ck \*\* COMPLETE\*\* 20230207 - PSUF GS ck -- It is not clear where the permeable pavement is that the applicant is seeking credit for. Please note where permeable pavement is on the landscape plans.

Thanks,

Andrew Graminski (He/Him)  
Planner  
City of Somerville



**From:** Andrew Graminski <[agraminski@somervillema.gov](mailto:agraminski@somervillema.gov)>  
**Sent:** Monday, March 20, 2023 4:17 PM  
**To:** Evan Stellman <[estellman@tkgeast.com](mailto:estellman@tkgeast.com)>  
**Cc:** Nicholas Zozula <[nzozula@mgmlp.com](mailto:nzozula@mgmlp.com)>  
**Subject:** FW: 366 Broadway - Plan Set

FYI

**Andrew Graminski (He/Him)**  
**Planner**

City of Somerville  
Office of Strategic Planning & Community Development – Planning, Preservation, and Zoning Division  
3rd Floor City Hall, 93 Highland Avenue  
Somerville, Massachusetts 02143  
[agraminski@somervillema.gov](mailto:agraminski@somervillema.gov)

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**From:** Vanessa Boukili <[vboukili@somervillema.gov](mailto:vboukili@somervillema.gov)>  
**Sent:** Monday, March 20, 2023 3:44 PM  
**To:** Andrew Graminski <[agraminski@somervillema.gov](mailto:agraminski@somervillema.gov)>  
**Cc:** Cortney Kirk <[ckirk@somervillema.gov](mailto:ckirk@somervillema.gov)>  
**Subject:** Re: 366 Broadway - Plan Set

Hi Andrew,

I just drove by this location, and the recently planted Japanese Zelkova on the Thurston side of the property is broken (probably hit by a vehicle). The applicant will no longer need to protect this dead/nearly dead tree, but they should plan to plant a new tree here. It can match the specs of the other new trees they are installing.

Best,  
Vanessa

Sent from my iPhone

VLA Responses as follows:

- The Acer rubrum has been revised to a Columnar Honey Locust (Street Keeper cultivar) – see Sheet L1 for revised plant schedule.
- New Street Tree Planting detail has been revised with note: *'if permanent irrigation is not provided, the perforated pipe as noted is to be provided.'* Applicant/design team to verify during DD/CD phases.
- Layout of Tree Protection Fencing has been added to the Landscape Plan – please refer to Sheet L1. Additional information has been provided in Tree Protection Plan – see below comment.
- Please refer to the Tree Protection Plan now included in the revised Landscape Set dated 03/24/23, including: layout of tree protection fencing at existing tree within ROW, table noting species/DBH/health condition of existing trees, and tree protection detail. As observed in additional email from Vanessa, the existing Zelkova along Thurston Street has been damaged and is now noted as to be removed. See Sheet L9
- Please refer to letter from applicant requesting use of structural soils – included in additional submission materials.
- Scorecard has been revised to omit all bonus credits, including credits previously noted for 'Plants' categories – see Revised Landscape Set dated 03/24/23.

Sincerely,

**Verdant Landscape Architecture, Inc.**

Erin Hossaini-Fitch

LEED Green Associate

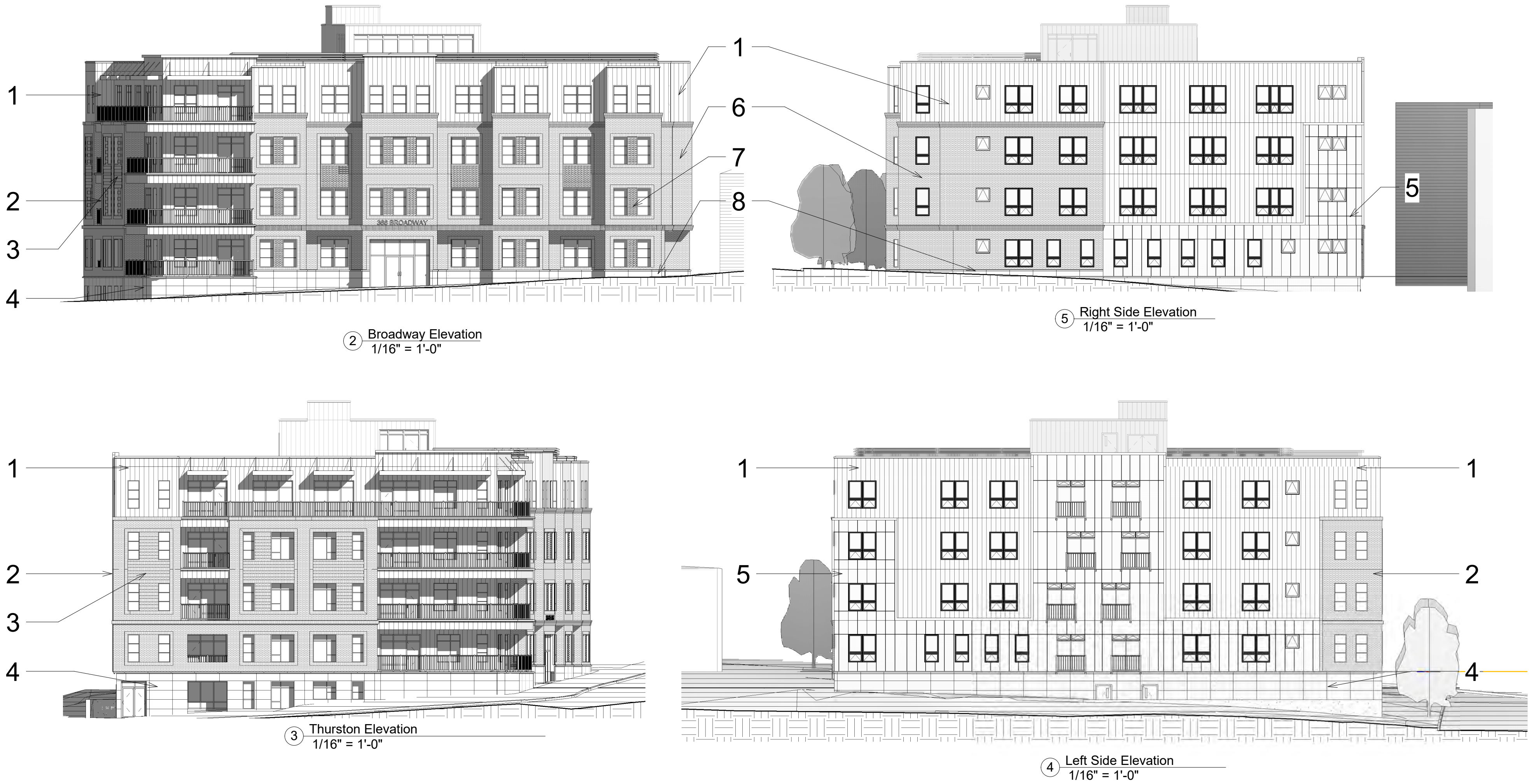
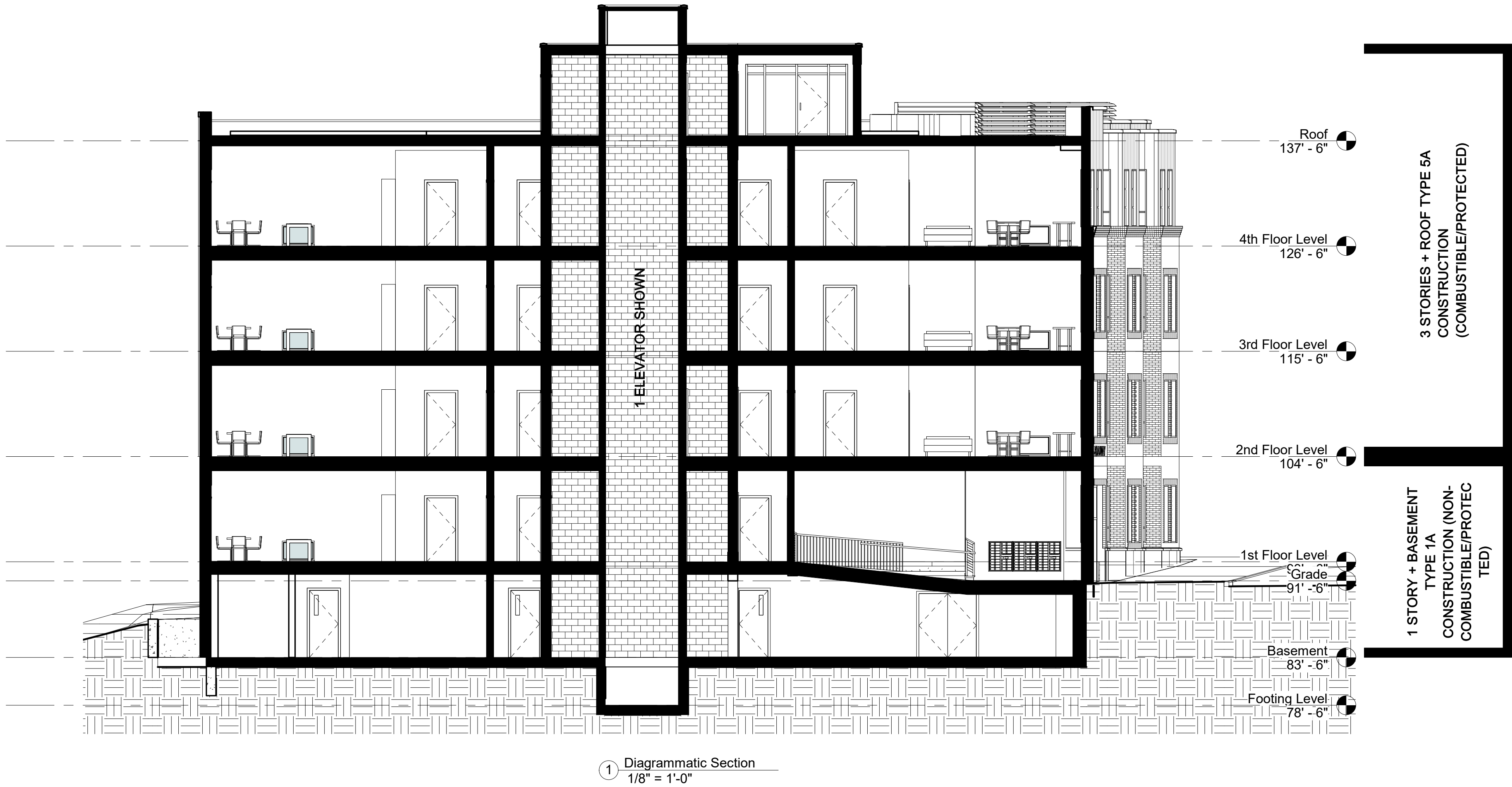
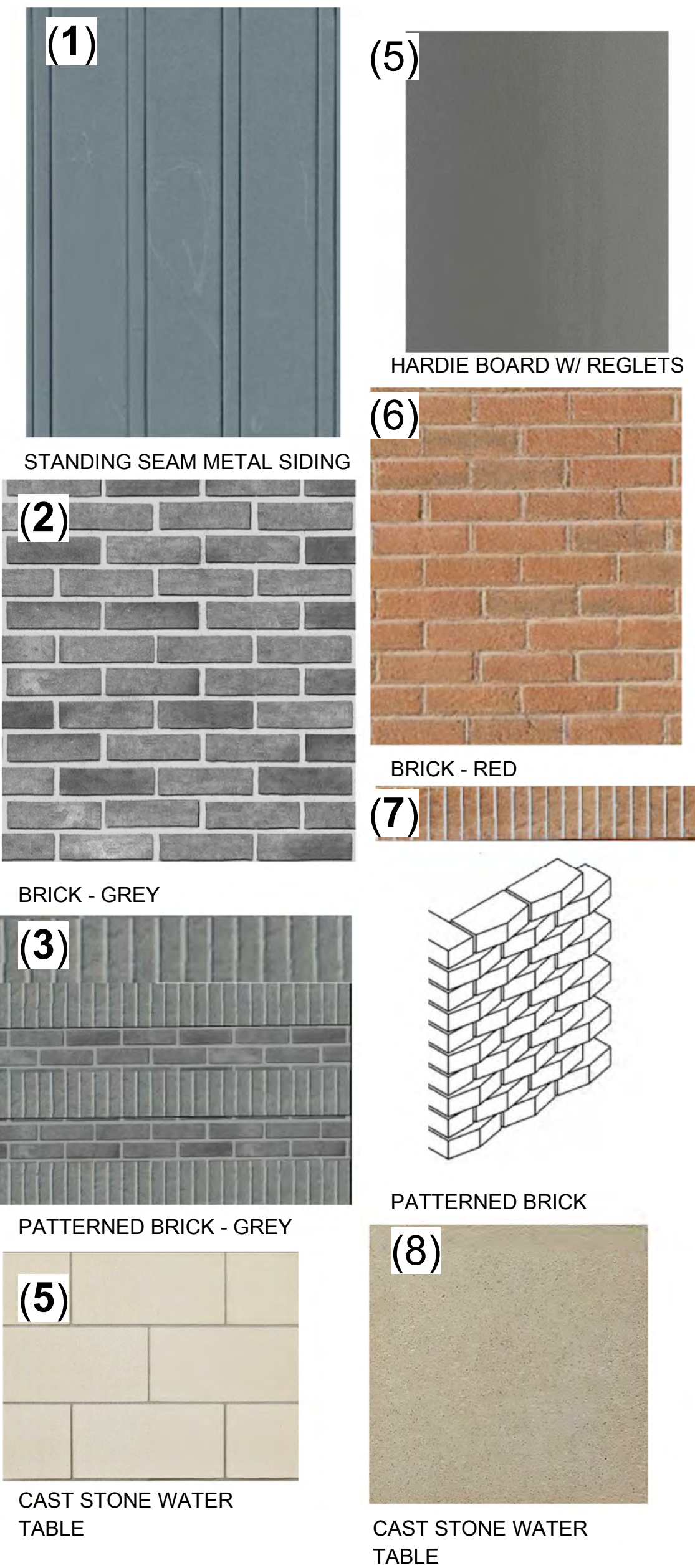
Associate Project Manager



58 RESIDENTIAL UNITS  
LEED GOLD CERTIFIABLE  
PASSIVE HOUSE READY  
±49,900 G.S.F.

4 STORIES OF TYPE 5A (2,3,4,R) OVER  
1 STORY TYPE 1A CONSTRUCTION  
(1ST + BASEMENT)

1 ELEVATOR  
CENTRAL CORE STAIR  
LAYOUT: CORRIDOR WALLS REQUIRE  
SAME FIRE RATING AS STAIR



PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
Somerville LLC

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682

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Project number 21071  
Date 03/24/2023  
Drawn by ERS  
Checked by JSK  
Scale As indicated

REVISIONS

No.	Description	Date

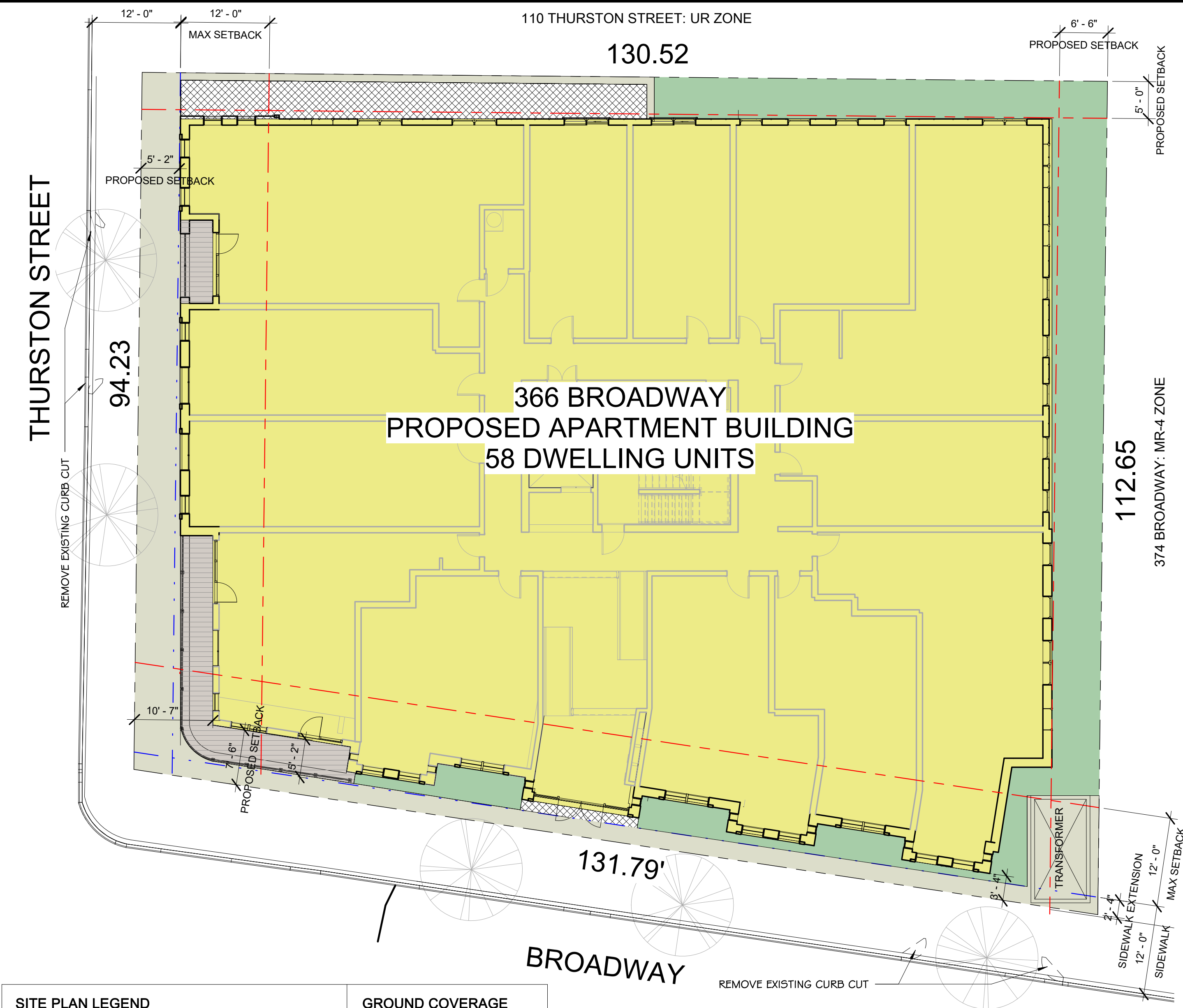
Diagrammatic  
Section & Bldg  
Metrics

A-010

366 Broadway Residences



ZONING DIMENSIONAL TABLE-PROPOSED ZONING:			
	ALLOWED / REQUIRED	PROPOSED	COMMENTS
ZONE	MR-4 ZONE		
BUILDING TYPE *	APARTMENT BUILDING		SPECIAL PERMIT REQUIRED
LOT SIZE	±13,495 S.F.		
LOT DIMENSIONS			
WIDTH (MIN.)	30'	131'	COMPLIES
LOT DEVELOPMENT			
LOT COVERAGE (MAX)	90 %	89% SHOWN	COMPLIES
GREEN SCORE	0.25 MIN 0.30 IDEAL	REQUIRED FROM REGISTERED LANDSCAPE ARCHITECT	COMPLIANCE VIA LANDSCAPE
OPEN SPACE	15%	COMPLIANCE VIA GREEN ROOF	COMPLIANCE VIA LANDSCAPE
BUILDING SETBACKS			
CURB SETBACK	12 FT	12' ON BROADWAY 12' ON THURSTON	COMPLIES
PRIMARY FRONT (MIN/ MAX.) BROADWAY	2 FT / 12 FT	7'6" FROM PROPERTY LINE 5'2" FROM SIDEWALK SETBACK	COMPLIES
SECONDARY FRONT (MIN/ MAX.) THURSTON ST	2 FT / 12 FT	5'2" FROM PROPERTY LINE 0' FROM SIDEWALK SETBACK	COMPLIES
SIDE (LEFT SIDE @ THURSTON ST)	0 FT MIN	5'	COMPLIES
SIDE (RIGHT SIDE @ BROADWAY)	0 FT MIN	6.5'	COMPLIES
REAR (MIN)	N/A (CORNER LOT)	N/A (CORNER LOT)	N/A (CORNER LOT)
MAIN MASSING			
FACADE BUILD OUT (PRIMARY-BROADWAY)	80% MIN	115.4/131=88%	COMPLIES
FACADE BUILD OUT (SECONDARY-THURSTON)	65% MIN	84.7/94=90%	COMPLIES
FLOOR PLATE (MAX) **	15,000 S.F.	10,483 S.F.	COMPLIES
GROUND FLOOR ELEVATION	2' (ABOVE AVERAGE GRADE)	2' ABOVE GRADE @ BROADWAY	COMPLIES
MIN UPPER STORY HEIGHT	10'	10'	COMPLIES
BUILDING HEIGHT, STORIES (MIN/MAX)	3 STORIES MIN 4 STORIES MAX	4 STORIES	COMPLIES
ROOF TYPE	FLAT	FLAT	COMPLIES
BUILDING HEIGHT	50'	50'	COMPLIES
USE & OCCUPANCY ***			
BASE DENSITY: 1,125 S.F. GFA / DU	44 DU ALLOWED	N/A	
NET ZERO READY DENSITY: 850 S.F. GFA / DU	58 DU ALLOWED	58 UNITS	COMPLIES
OUTDOOR AMENITY SPACE (MIN.)	1/DU (COMMON ALLOWED IF OVER 7 DU)	COMMON ROOF DECK	COMPLIES
PARKING (RESIDENTIAL)			
MIN SHORT TERM BICYCLE PARKING	.1 PER DU	COMPLIANCE VIA STREETSCAPE PLAN	COMPLIES
MIN LONG TERM BICYCLE PARKING	1 PER DU	58 SPACES (1/ DU)	
MAXIMUM PARKING (WITHIN TRANSIT AREA)	1/ DU	NONE SHOWN	



SITE PLAN LEGEND	GROUND COVERAGE
BUILDING FOOTPRINT	±10,671 S.F. SHOWN
GROUND COVERAGE: PORCHES	±270 S.F. SHOWN
GROUND COVERAGE: IMPERVIOUS PAVING	±1,044 S.F. SHOWN
GROUND COVERAGE: PERVIOUS PAVING	±33 S.F. (335 S.F. @ 10%)
LANDSCAPE	TOTAL GROUND COVERAGE SHOWN: ±12,018 S.F. / 89%
REQUIRED SETBACKS	
CURB SETBACK (TO ACCOMMODATE 12' SIDEWALK)	

**NOTE:** THIS PLAN IS FOR INFORMATIONAL AND ILLUSTRATIVE PURPOSES ONLY. THE PREPARER OF THIS PLAN MAKES NO CLAIM TO ITS ACCURACY. A CERTIFIED LAND SURVEYOR SHALL PROVIDE AN OFFICIAL CERTIFIED PLOT PLAN.

PROJECT NAME

366 Broadway Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
Somerville LLC

ARCHITECT

KHALSA

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682

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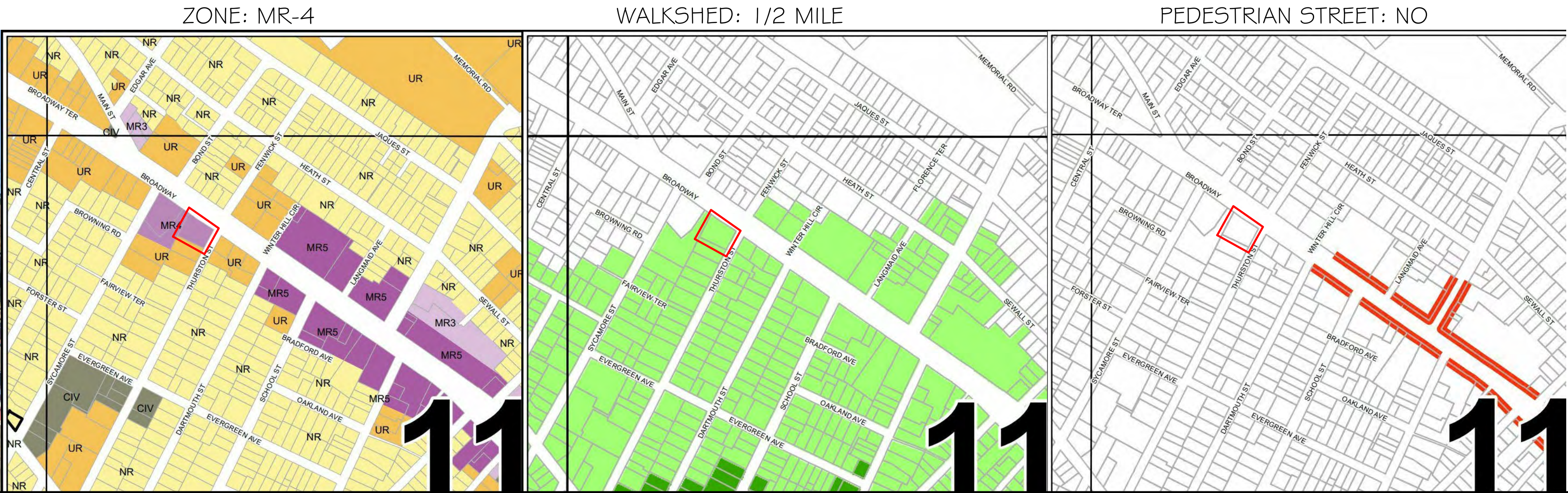
Project number	21071
Date	03/24/2023
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Checked by	JSK
Scale	As indicated

No.	Description	Date

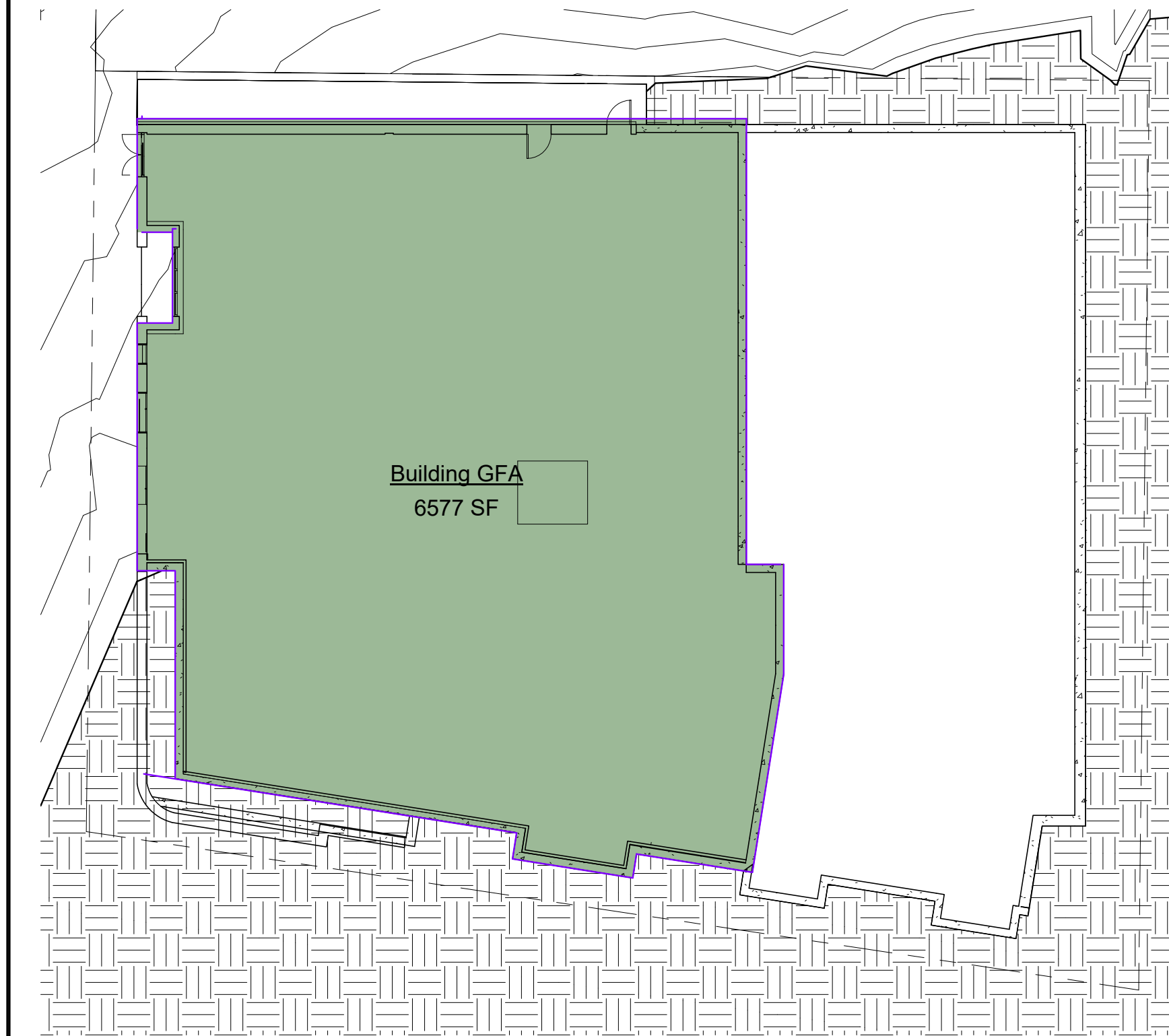
Site Plan

A-020

366 Broadway Residences



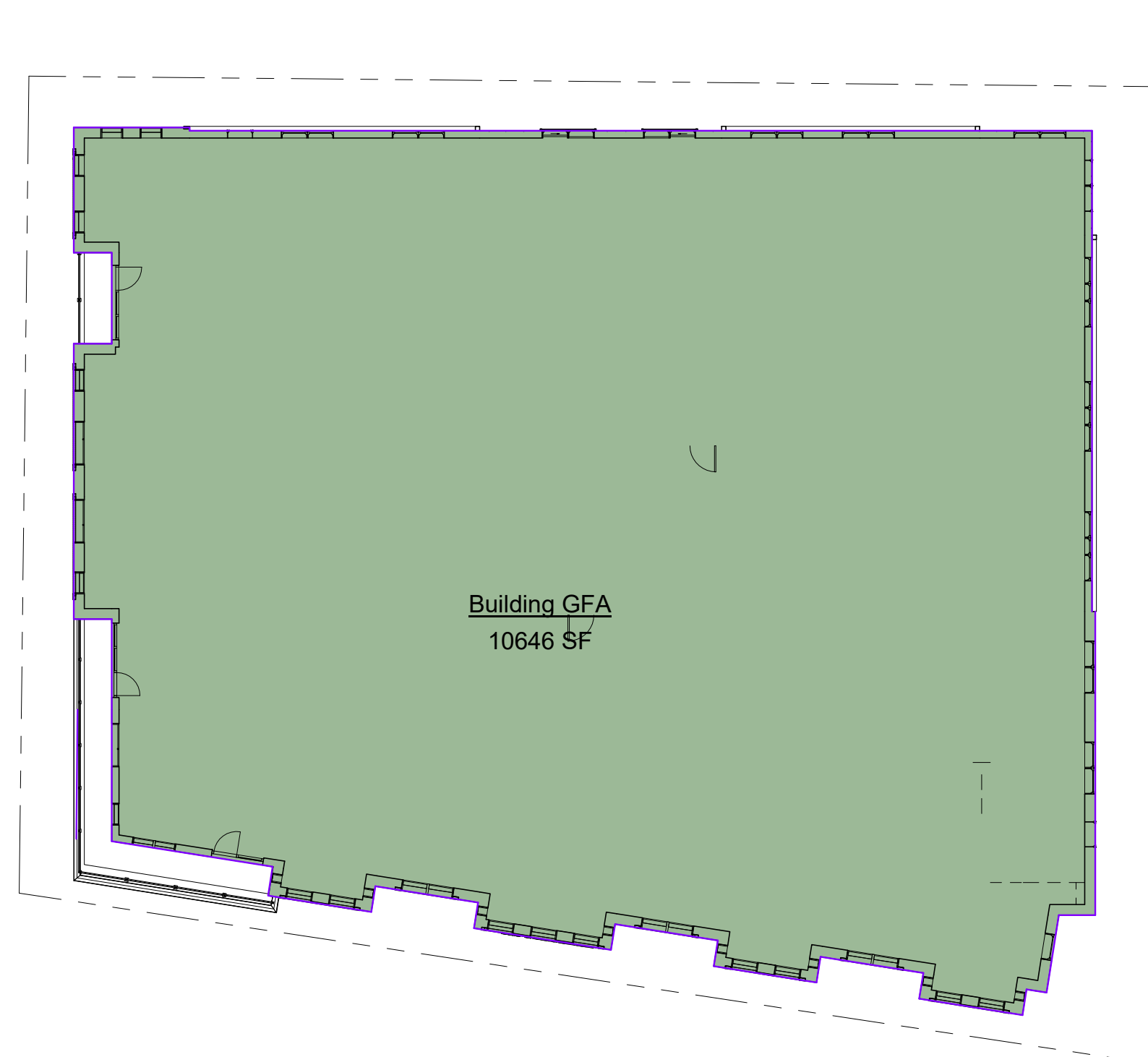




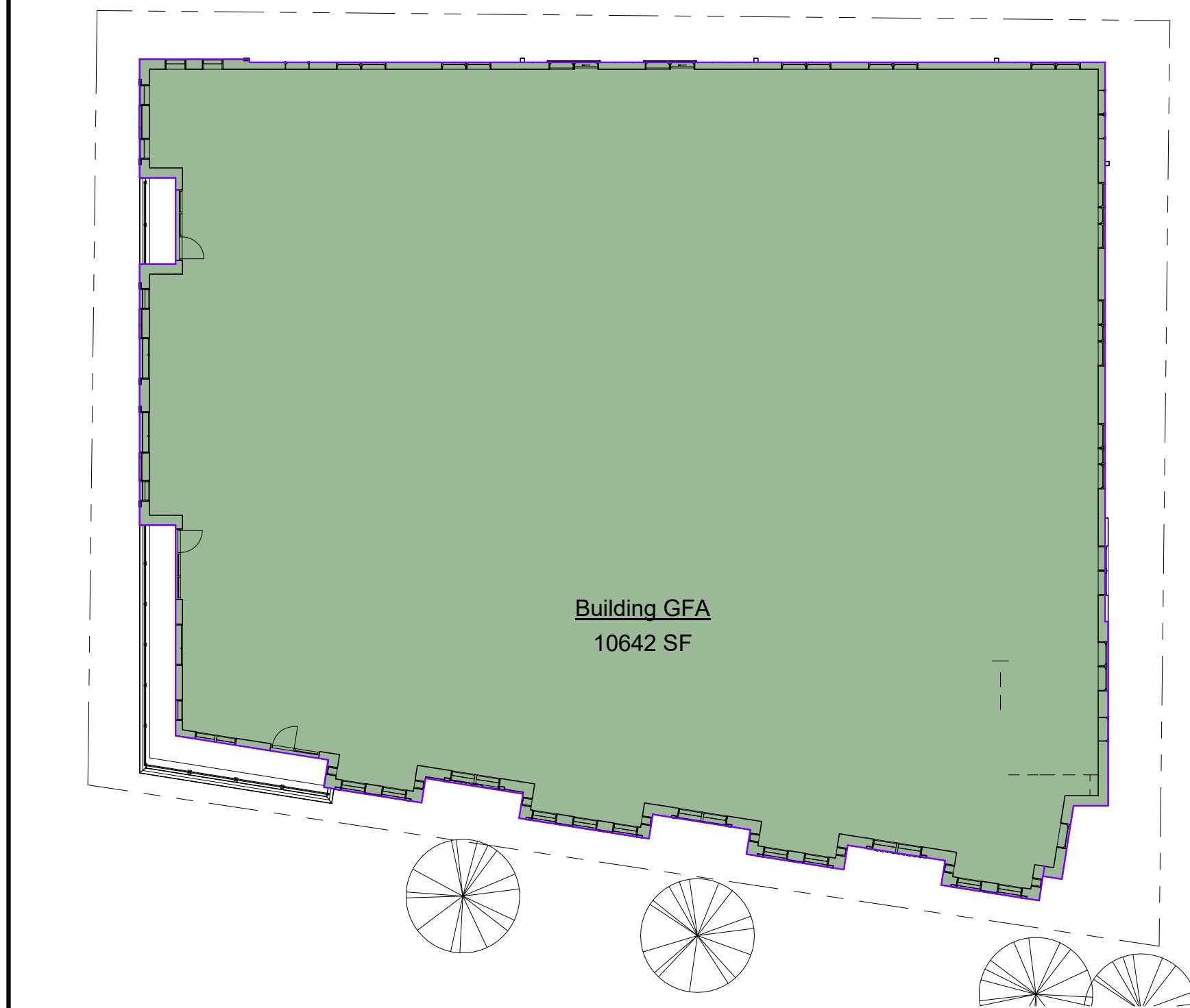
1 Basement  
1/16" = 1'-0"



2 1st Floor Level  
1/16" = 1'-0"



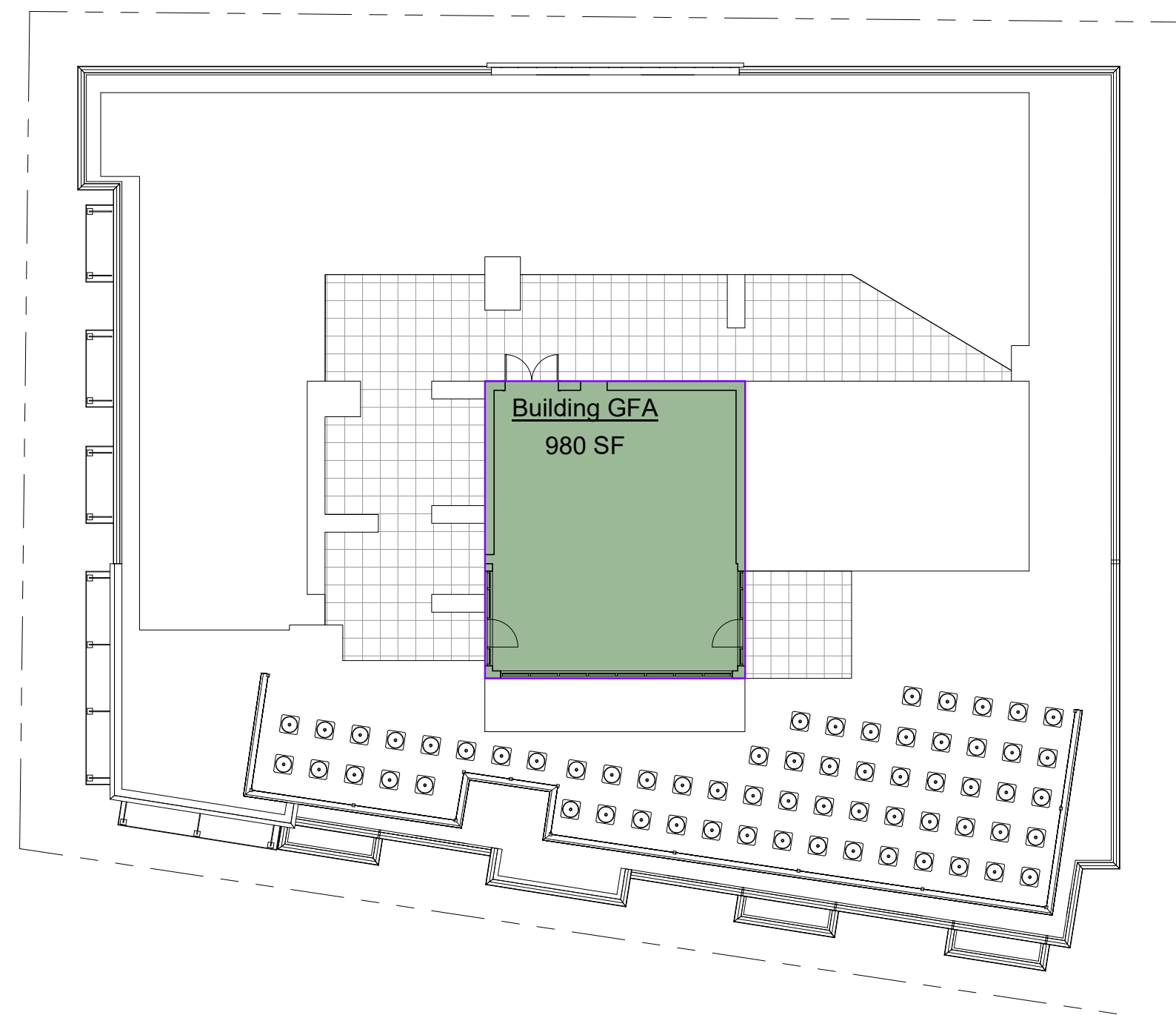
3 2nd Floor Level  
1/16" = 1'-0"



4 3rd Floor Level  
1/16" = 1'-0"



5 4th Floor Level  
1/16" = 1'-0"



6 Roof  
1/16" = 1'-0"

Gross Building Area		
Name	Area	Level
Building GFA	10676 SF	1st Floor Level
Building GFA	10646 SF	2nd Floor Level
Building GFA	10642 SF	3rd Floor Level
Building GFA	10434 SF	4th Floor Level
Building GFA	6577 SF	Basement
Building GFA	980 SF	Roof

49954 SF  
49954 SF

BUILDING DENSITY: 49,954  
NET ZERO READY (/850 S.F. PER DU) = 58 UNITS

PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
Somerville LLC

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
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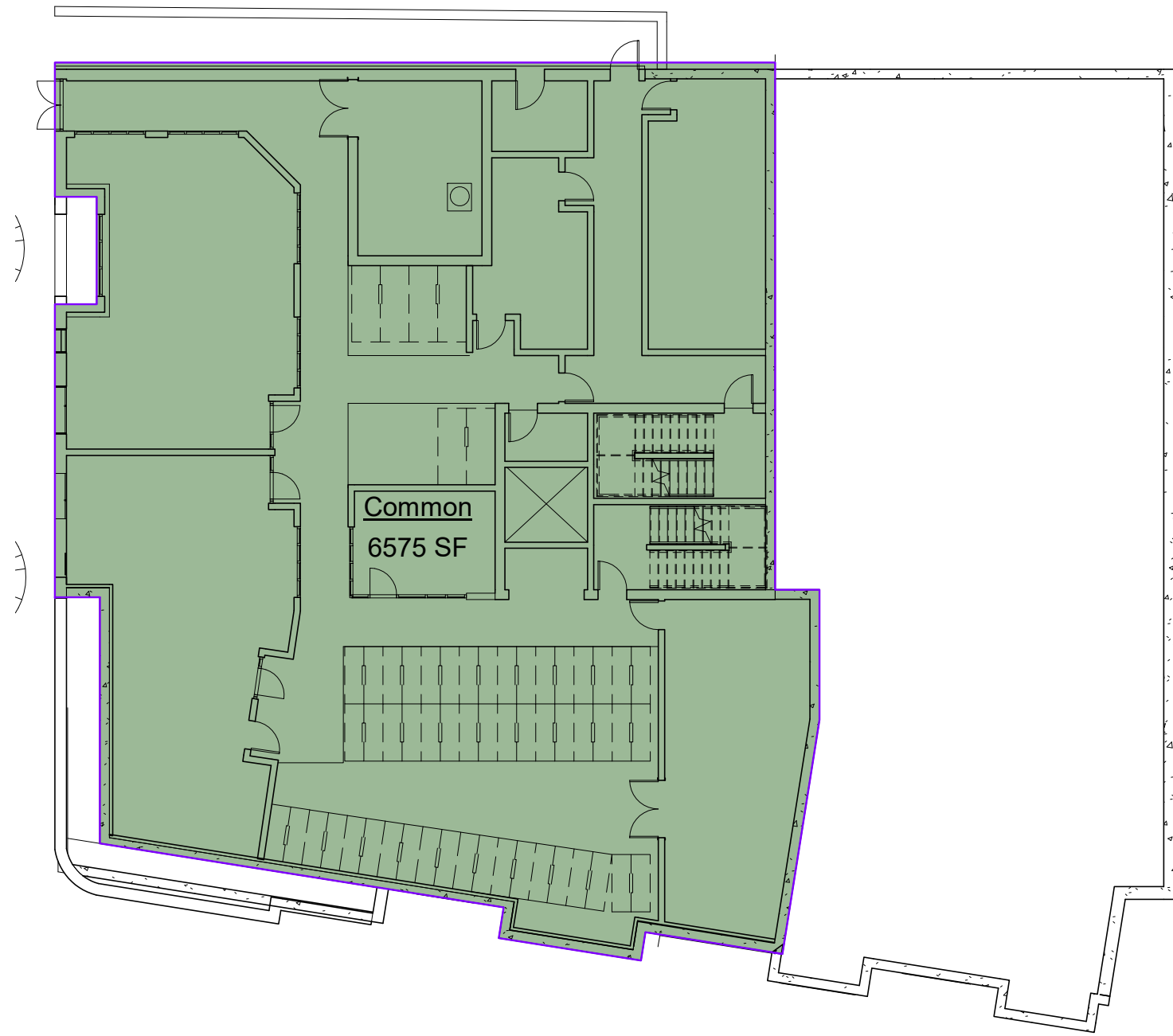
No.	Description	Date

Gross Floor Area

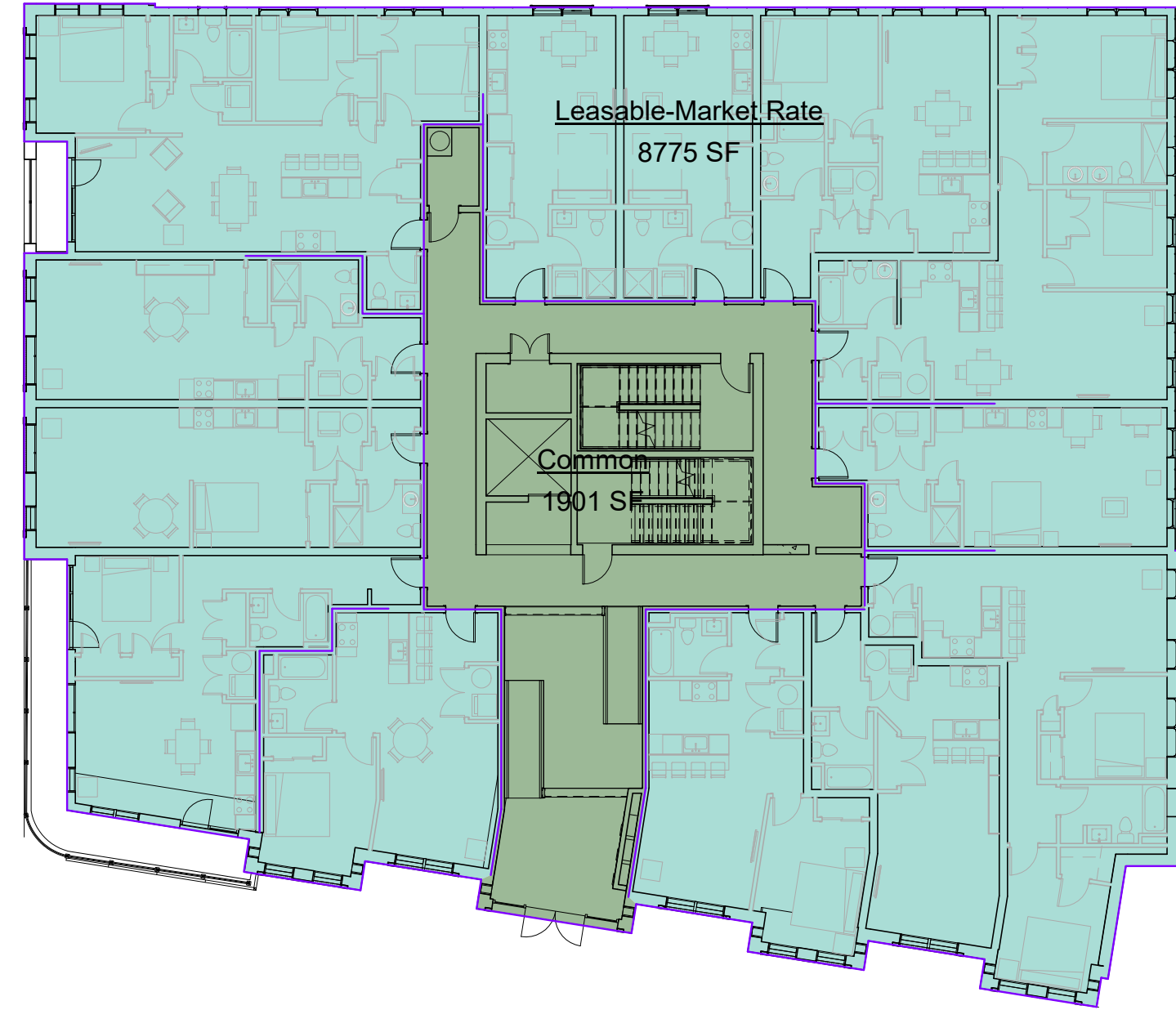
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366 Broadway Residences

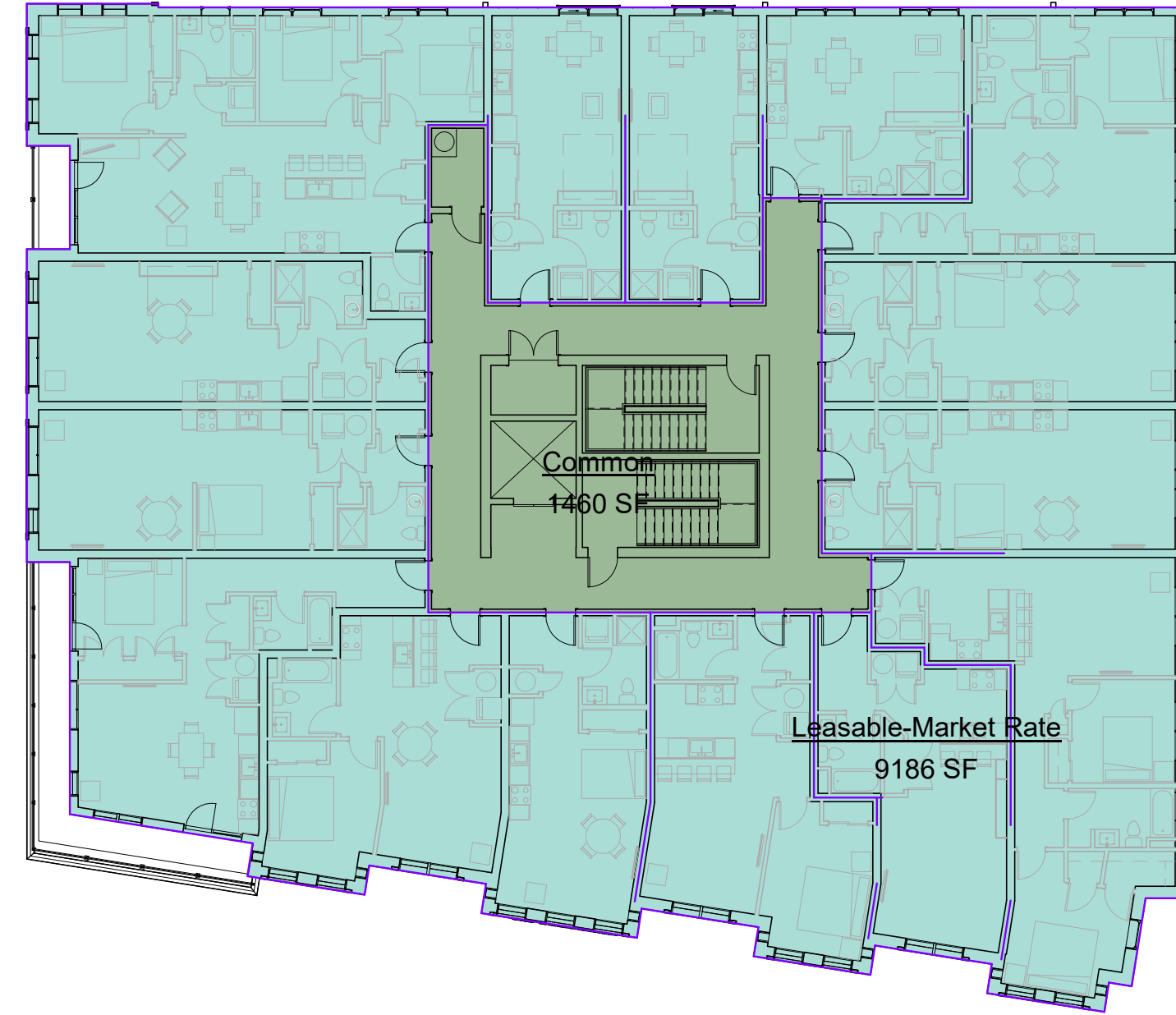




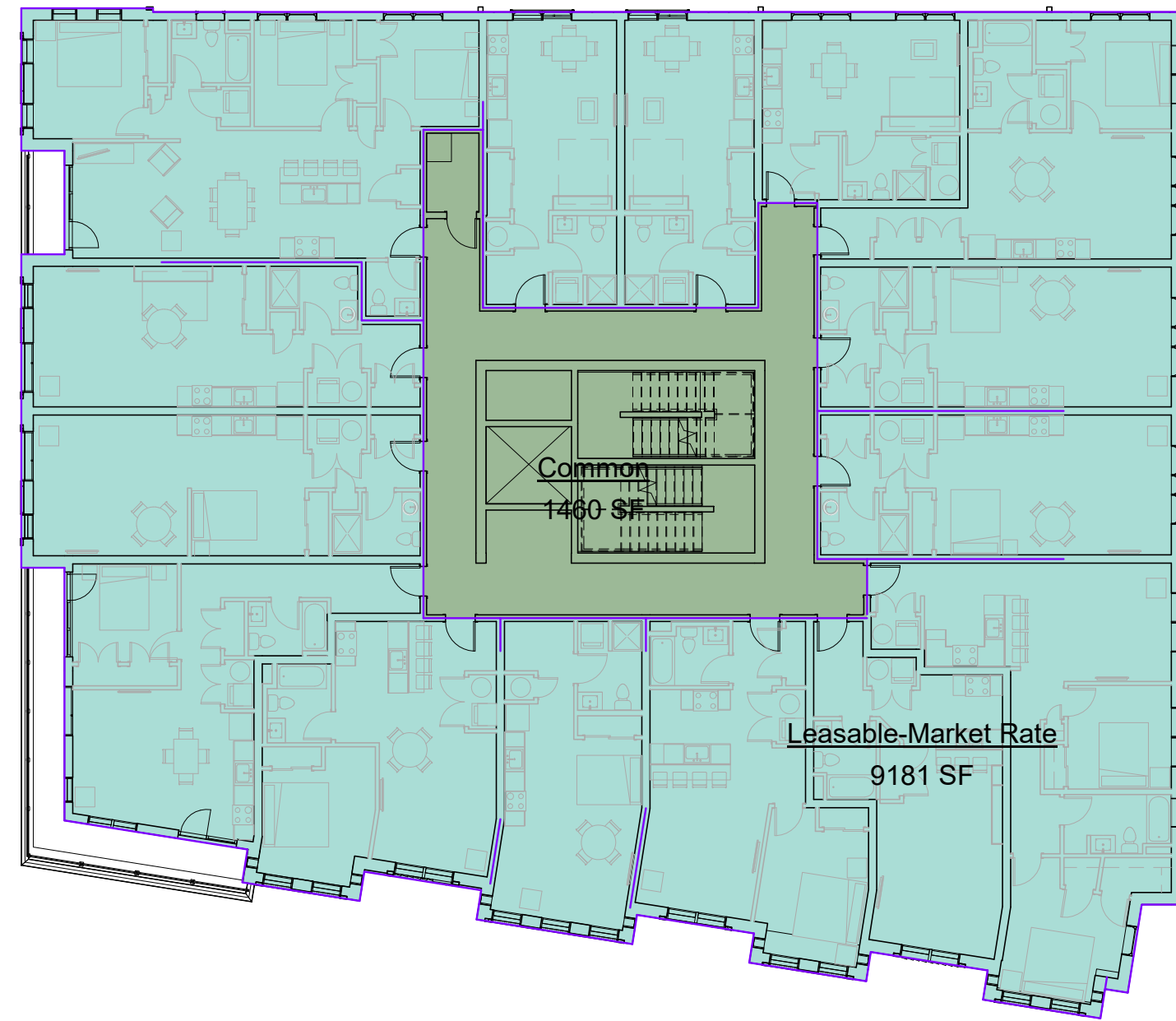
5 Basement  
1/16" = 1'-0"



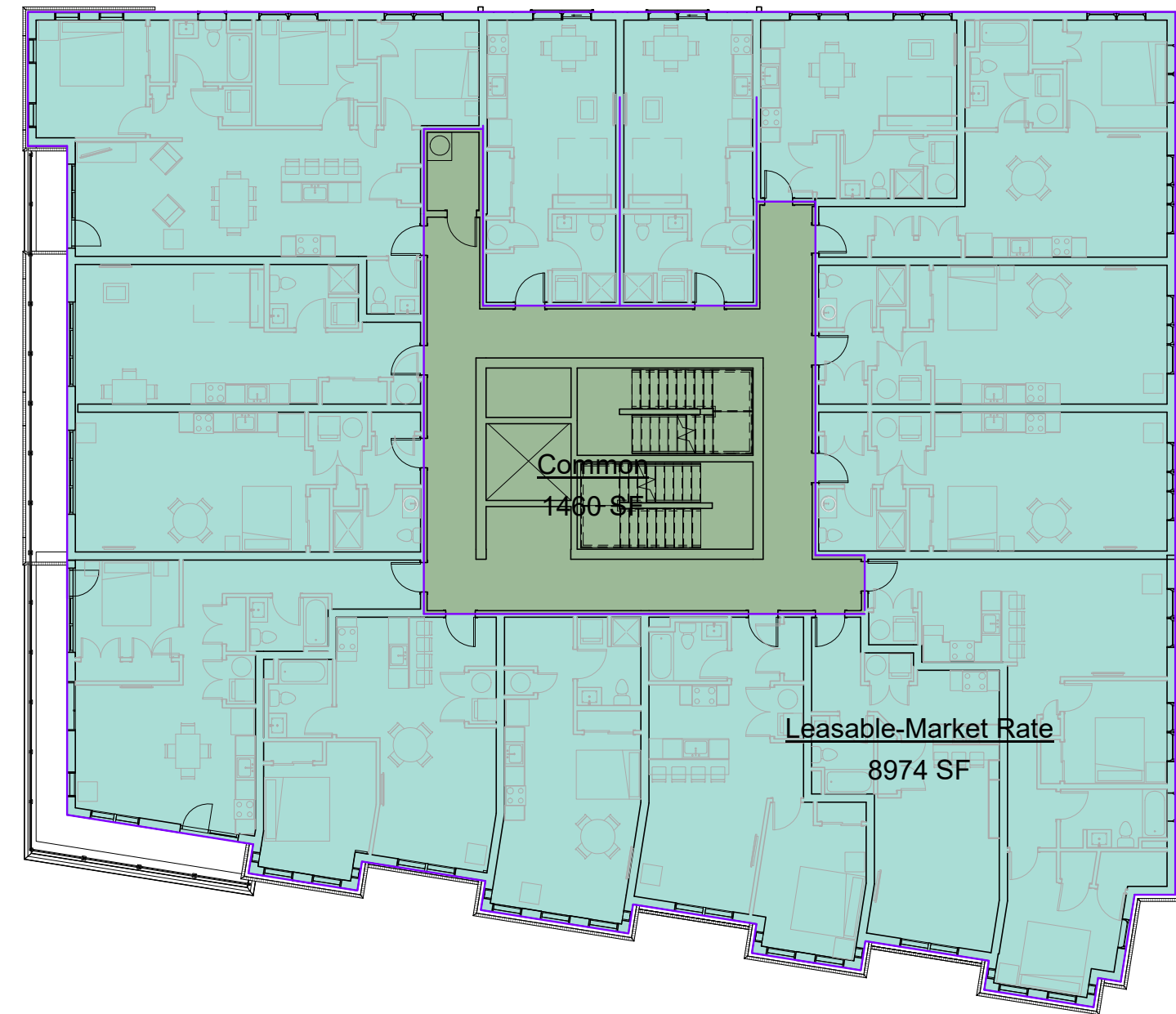
1 1st Floor Level  
1/16" = 1'-0"



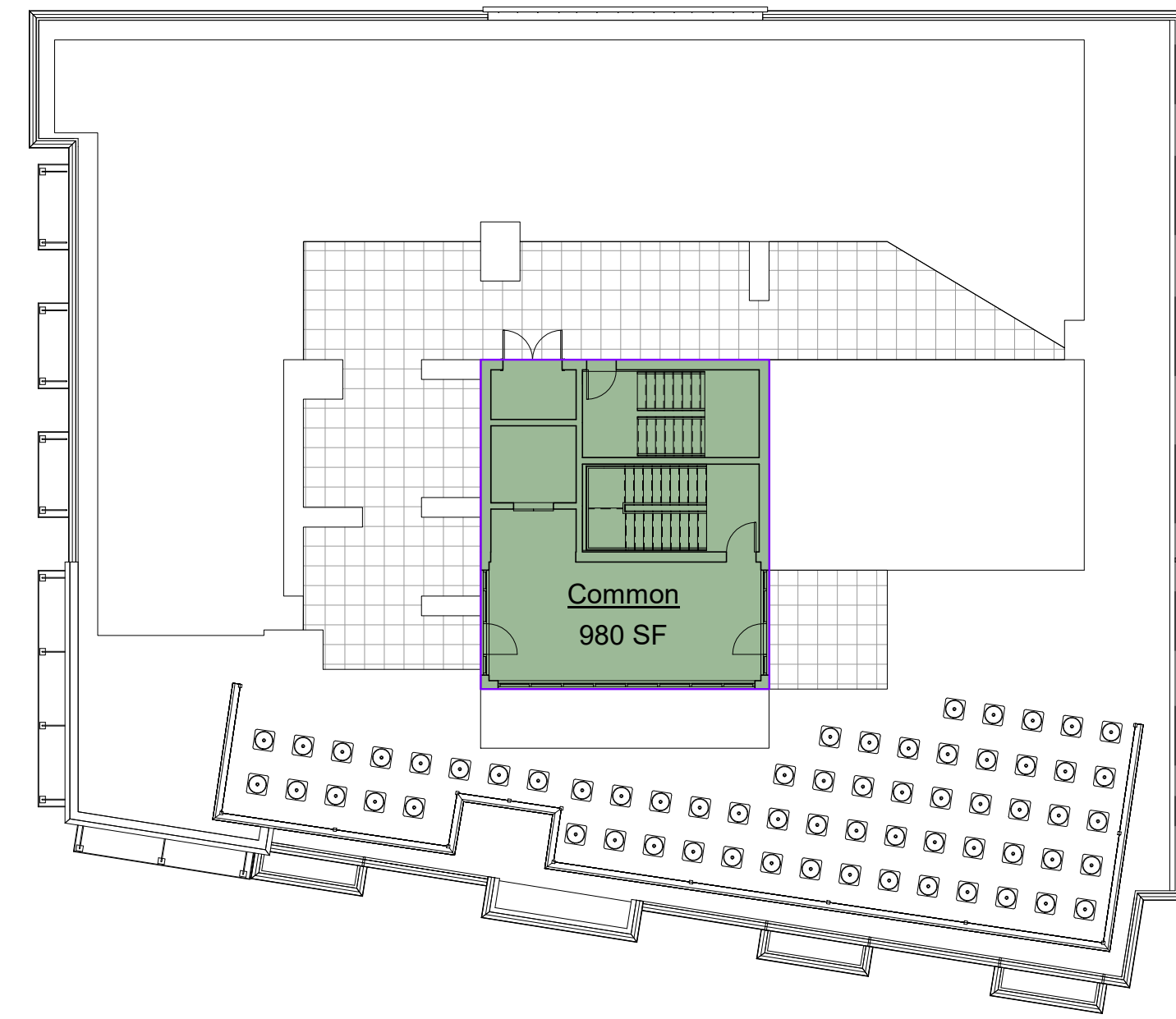
2 2nd Floor Level  
1/16" = 1'-0"



3 3rd Floor Level  
1/16" = 1'-0"



4 4th Floor Level  
1/16" = 1'-0"



6 Roof  
1/16" = 1'-0"

Leasable Floor Area	
Area	Level

Common	
6575 SF	Basement
1901 SF	1st Floor Level
1460 SF	2nd Floor Level
1460 SF	3rd Floor Level
1460 SF	4th Floor Level
980 SF	Roof

Leasable-Market Rate	
0 SF	Not Placed
8775 SF	1st Floor Level
9186 SF	2nd Floor Level
9181 SF	3rd Floor Level
8974 SF	4th Floor Level
36116 SF	
49953 SF	

PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
Somerville LLC

ARCHITECT



KHALSA

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REVISIONS

No.	Description	Date

Leasable Floor  
Area

A-024

366 Broadway Residences





① Basement  
1/8" = 1'-0"

PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
Somerville LLC

ARCHITECT



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Date	03/24/2023
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REVISIONS

No.	Description	Date

Basement Floor  
Plan

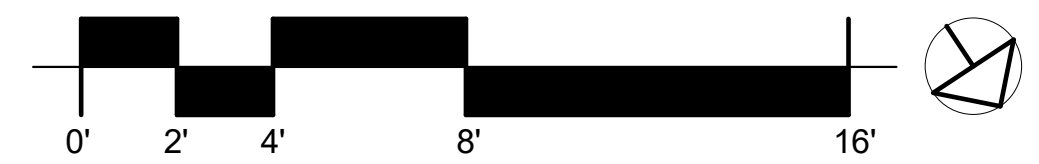
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366 Broadway Residences





UNIT BREAKDOWN BY FLOOR						
FLOOR	STUDIO	1 BEDROOM	2 BEDROOM	3 BEDROOM	TOTAL	COMMENTS
1	6	4	2	1	13	
2	9	4	1	1	15	
3	9	4	1	1	15	
4	9	4	1	1	15	
TOTAL	33 (57%)	16 (27%)	5 (9%)	4 (7%)	58	



PROJECT NAME  
**366 Broadway Residences**

PROJECT ADDRESS  
366 Broadway  
Somerville, MA

CLIENT  
**366 Broadway  
Somerville LLC**

ARCHITECT

**KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682

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REGISTRATION

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Project number	21071
Date	03/24/2023
Drawn by	ERS
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Scale	As indicated

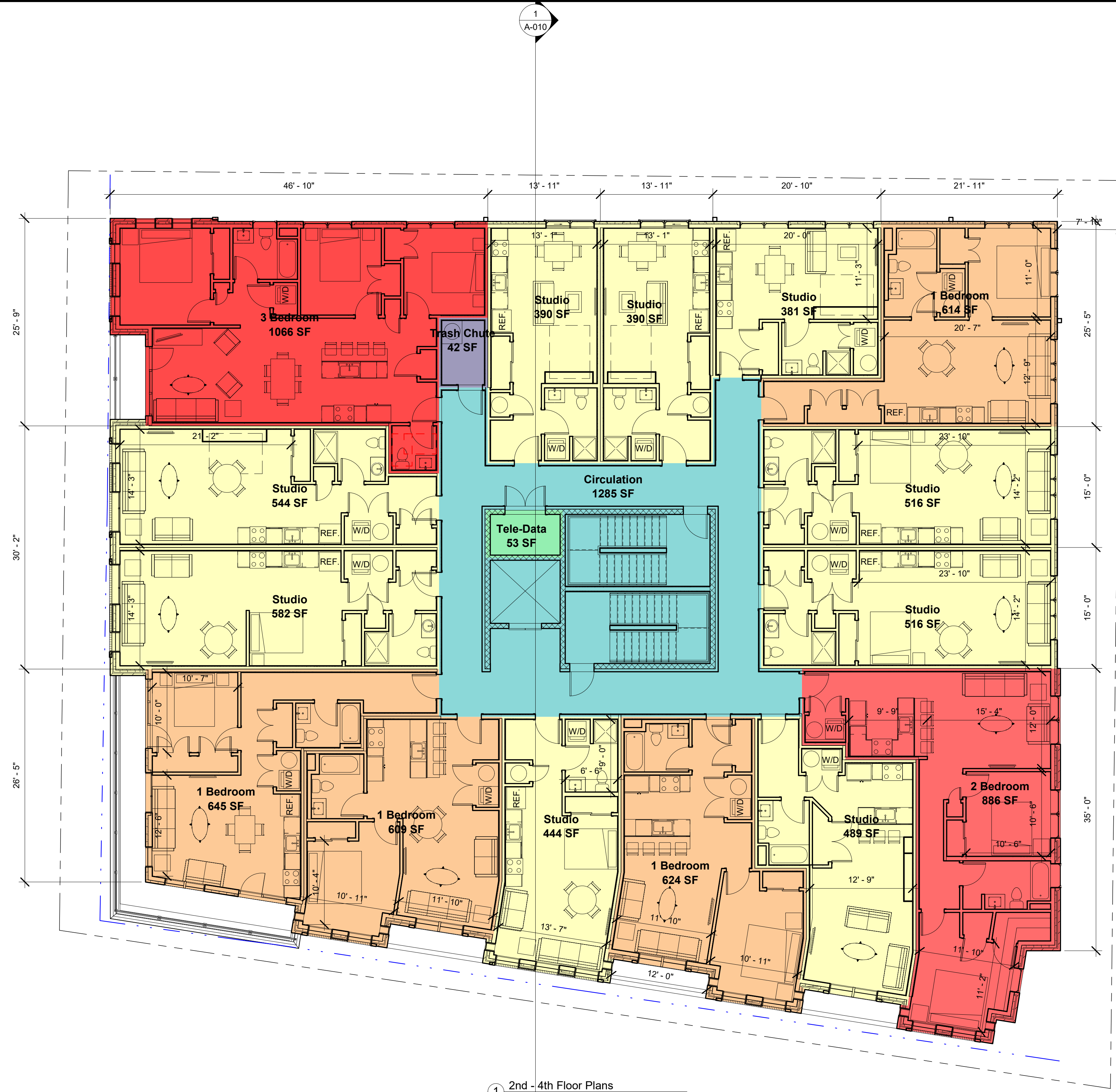
No.	Description	Date

1st Floor Plan

**A-101**

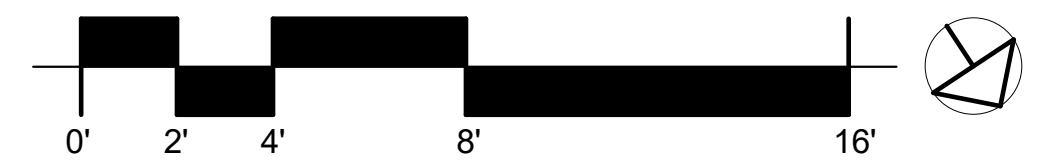
366 Broadway Residences





1 2nd - 4th Floor Plans  
1/8" = 1'-0"

UNIT BREAKDOWN BY FLOOR						
FLOOR	STUDIO	1 BEDROOM	2 BEDROOM	3 BEDROOM	TOTAL	COMMENTS
1	6	4	2	1	13	
2	9	4	1	1	15	
3	9	4	1	1	15	
4	9	4	1	1	15	
TOTAL	33 (57%)	16 (27%)	5 (9%)	4 (7%)	58	



PROJECT NAME  
**366 Broadway Residences**

PROJECT ADDRESS  
366 Broadway  
Somerville, MA

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**366 Broadway  
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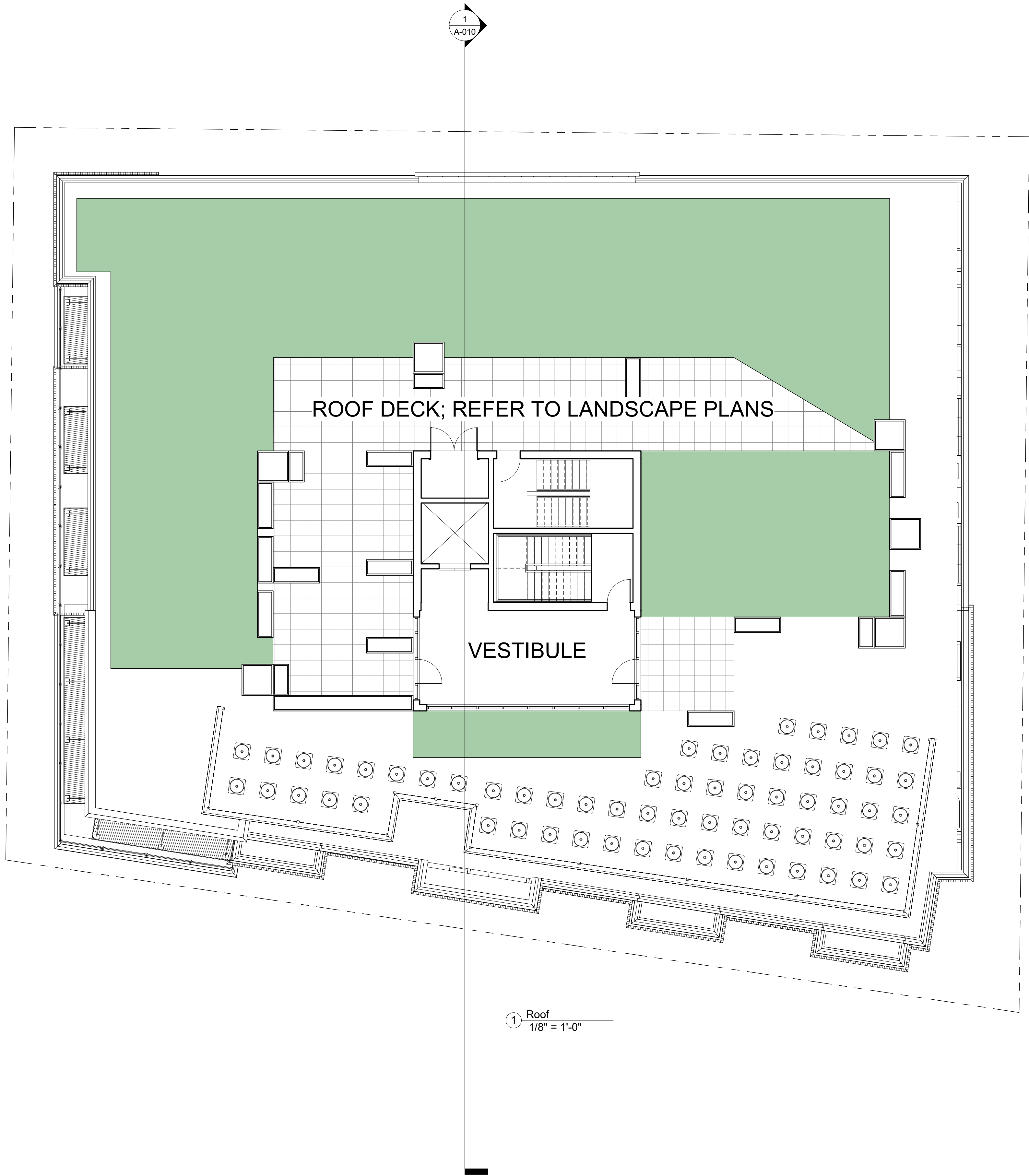
No.	Description	Date

2nd - 4th Floor Plans

**A-102**

366 Broadway Residences





PROJECT NAME  
**366 Broadway Residences**

PROJECT ADDRESS  
366 Broadway  
Somerville, MA

CLIENT  
**366 Broadway  
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Date	03/24/2023
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Scale	As indicated

REVISIONS		
No.	Description	Date

Roof Plan

**A-103**  
366 Broadway Residences

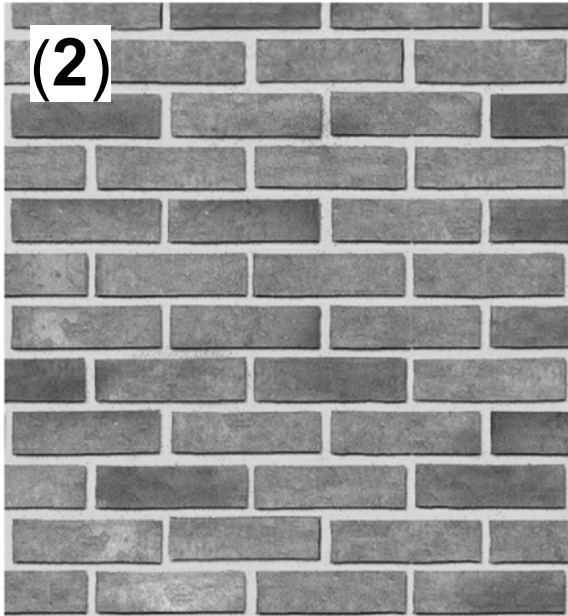
UNIT BREAKDOWN BY FLOOR						
FLOOR	STUDIO	1 BEDROOM	2 BEDROOM	3 BEDROOM	TOTAL	COMMENTS
1	6	4	2	1	13	
2	9	4	1	1	15	
3	9	4	1	1	15	
4	9	4	1	1	15	
TOTAL	33 (57%)	16 (27%)	5 (9%)	4 (7%)	58	



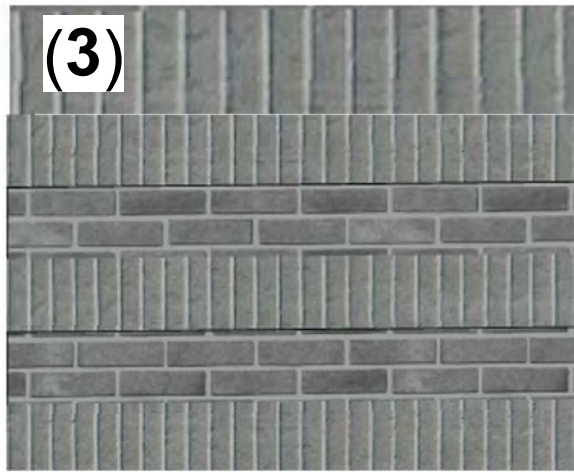




STANDING SEAM METAL SIDING



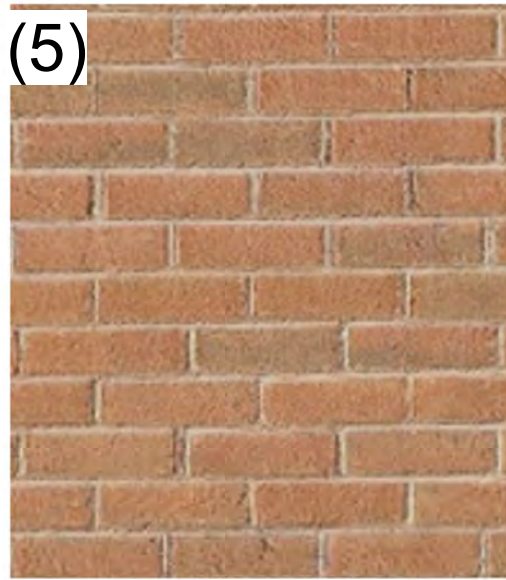
BRICK - GREY



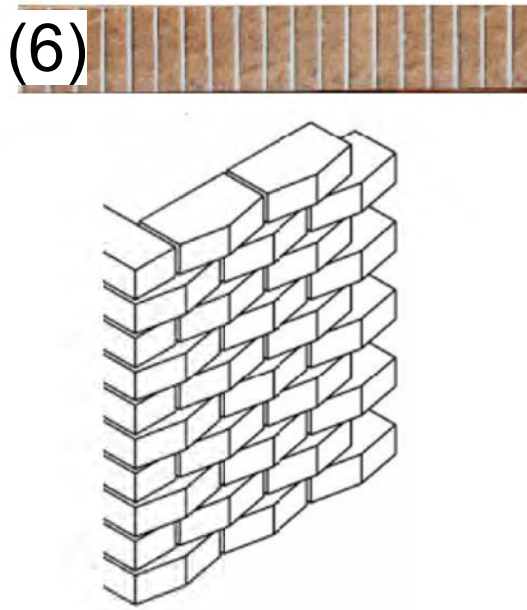
PATTERNED BRICK - GREY



CAST STONE WATER  
TABLE



BRICK - RED



PATTERNED BRICK



CAST STONE WATER  
TABLE



PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

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Somerville LLC

ARCHITECT



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Date 03/24/2023  
Drawn by ERS  
Checked by JSK  
Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date

Primary Front  
Elevation -  
Broadway

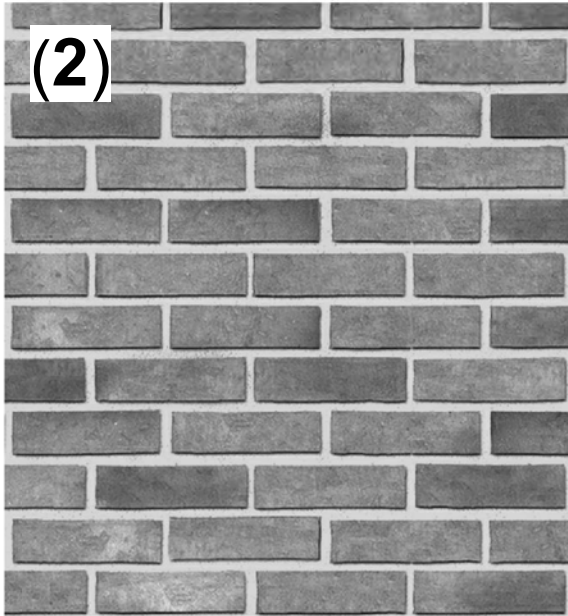
A-301

366 Broadway Residences

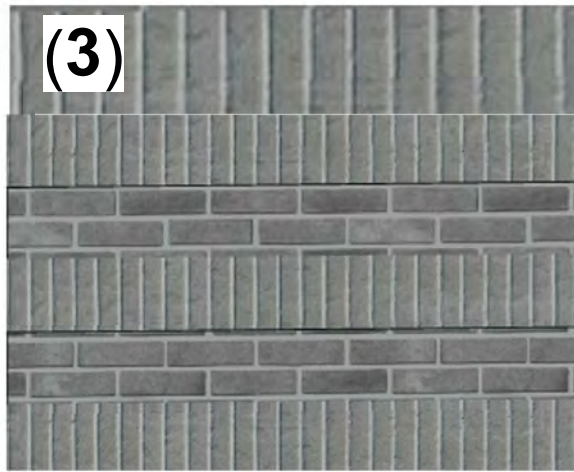




STANDING SEAM METAL SIDING



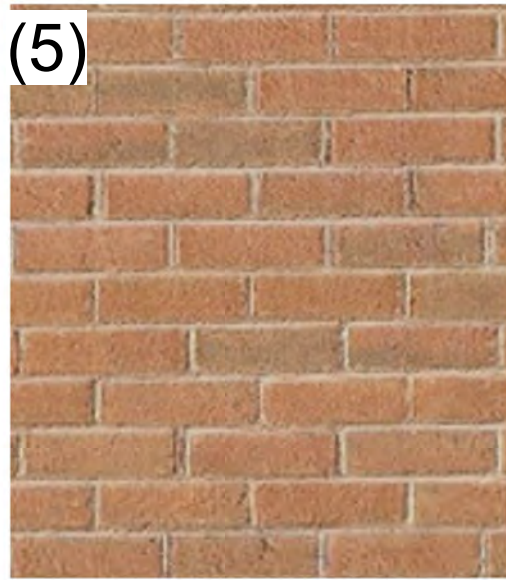
BRICK - GREY



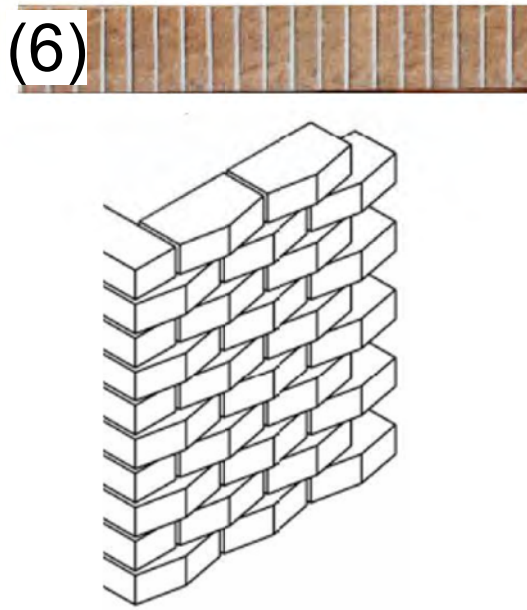
PATTERNED BRICK - GREY



CAST STONE WATER  
TABLE



BRICK - RED



PATTERNED BRICK



CAST STONE WATER  
TABLE



① Secondary Front Elevation (Thurston)  
1/8" = 1'-0"

PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

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Somerville LLC

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Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date

Secondary Front  
Elevation-Thurston

A-302

366 Broadway Residences





PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
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Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date

Side Elevations

A-303

366 Broadway Residences





PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

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Somerville, MA

CLIENT

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Scale	

REVISIONS

No.	Description	Date

Perspective at  
Broadway &  
Thurston

AV-1

366 Broadway Residences





PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
Somerville LLC

ARCHITECT



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Checked by	JSK
Scale	

REVISIONS

No.	Description	Date

Perspective at  
Broadway

AV-2

366 Broadway Residences





PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
Somerville LLC

ARCHITECT



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REVISIONS

No.	Description	Date

Thurston Street  
Perspective

AV-3

366 Broadway Residences





PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
Somerville LLC

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REVISIONS

No.	Description	Date

Proposed  
Rendering

AV-4

366 Broadway Residences





PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
Somerville LLC

ARCHITECT



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Checked by	Checker
Scale	

REVISIONS

No.	Description	Date

Proposed  
Rendering

AV-5

366 Broadway Residences





PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
Somerville LLC

ARCHITECT



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Scale	

REVISIONS

No.	Description	Date

Proposed Aerial

AV-6

366 Broadway Residences





PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
Somerville LLC

ARCHITECT



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Date	03/24/2023
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Scale	

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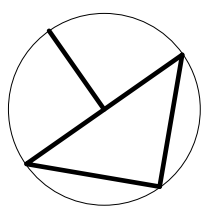
No.	Description	Date

Proposed Aerial

AV-7

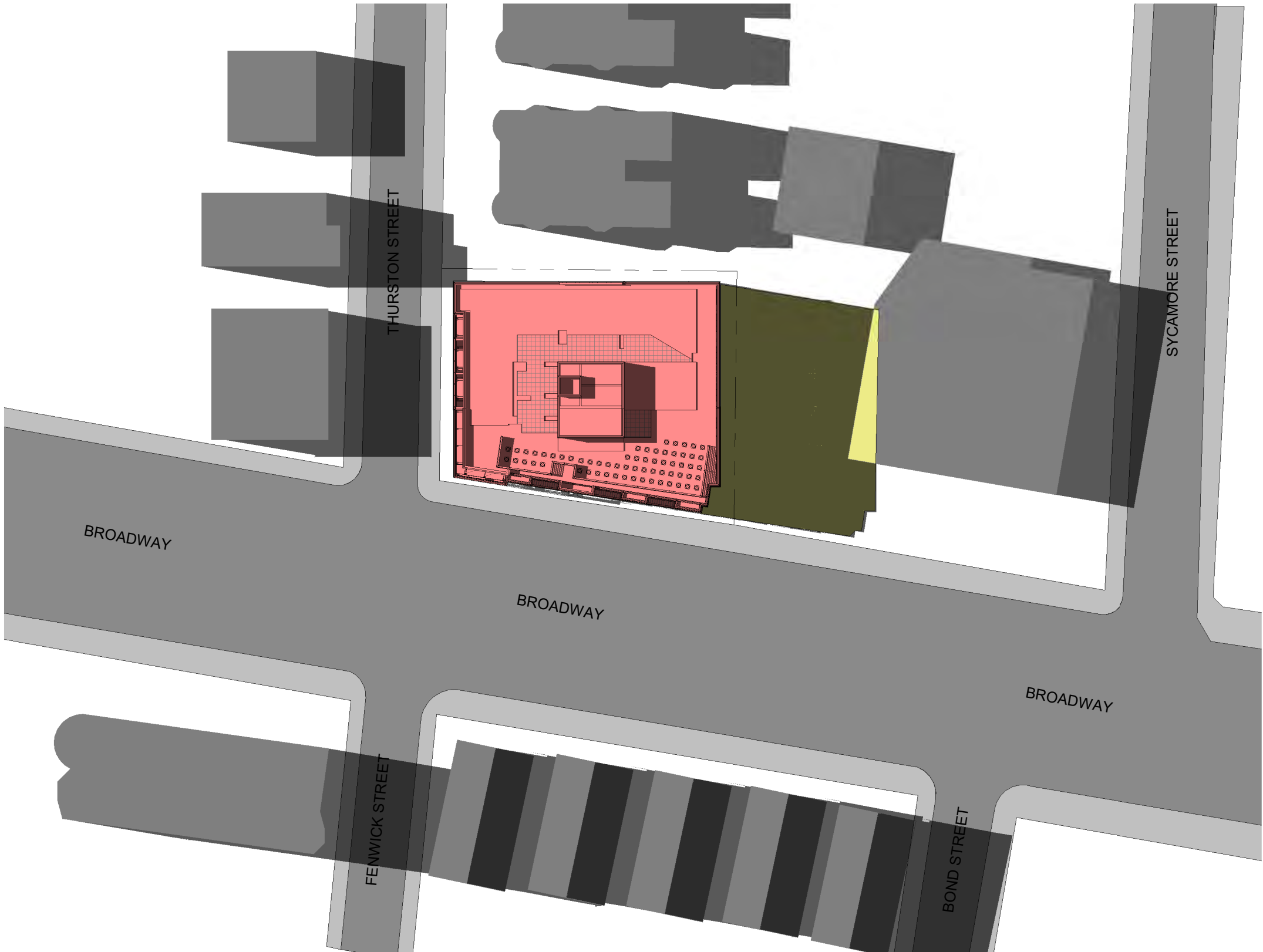
366 Broadway Residences



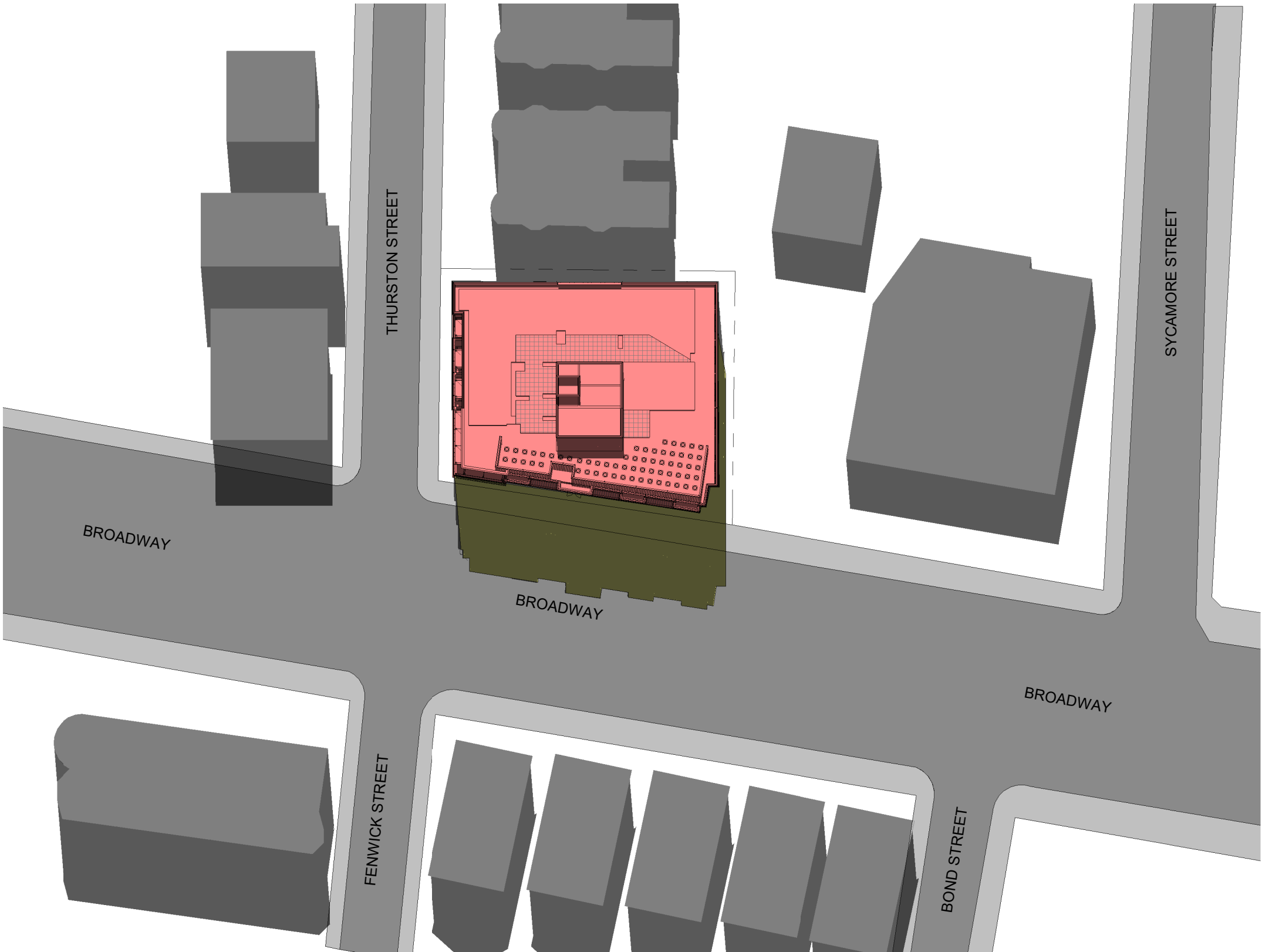


# VERNAL EQUINOX (MARCH 21)

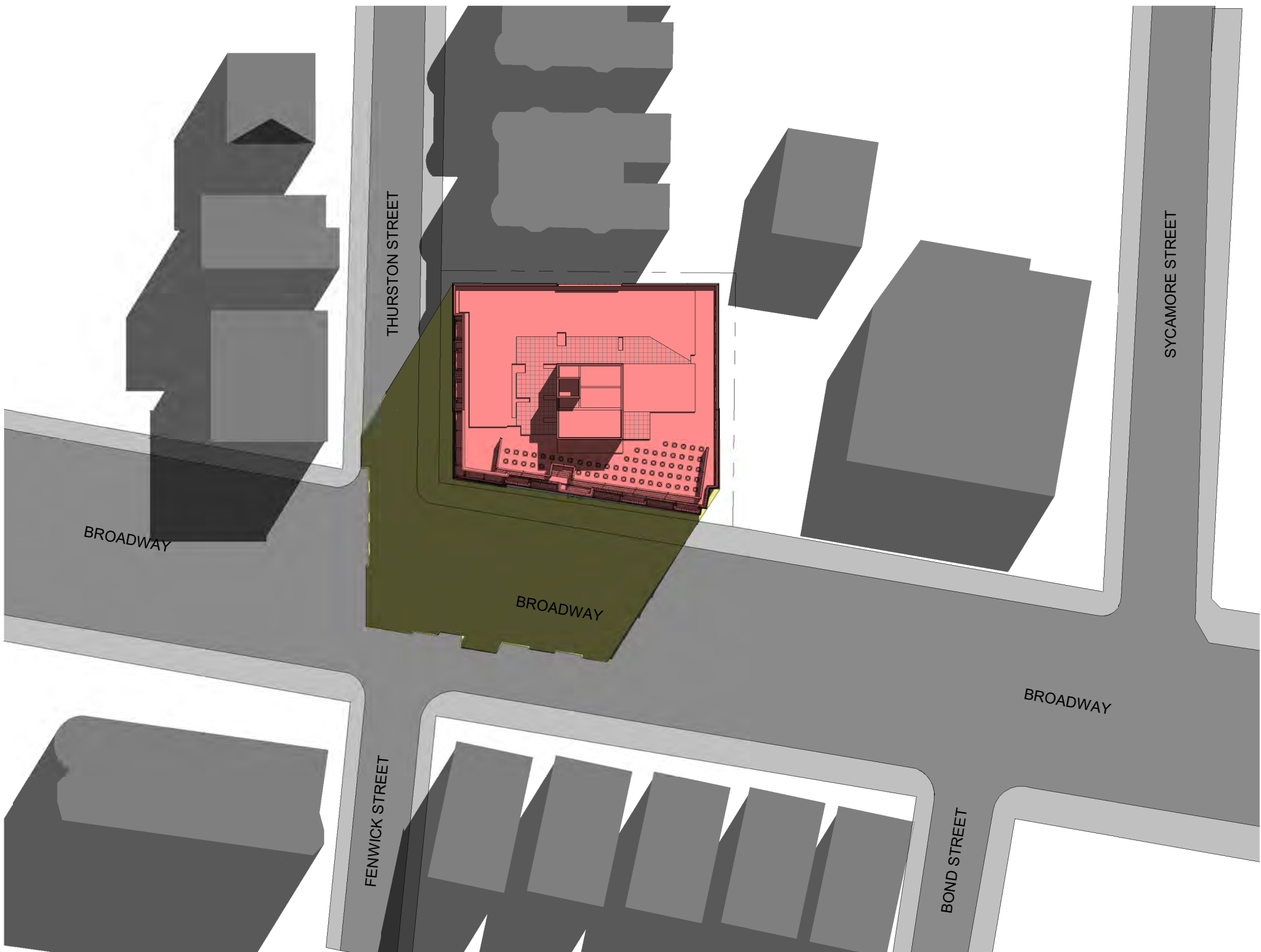
9 AM



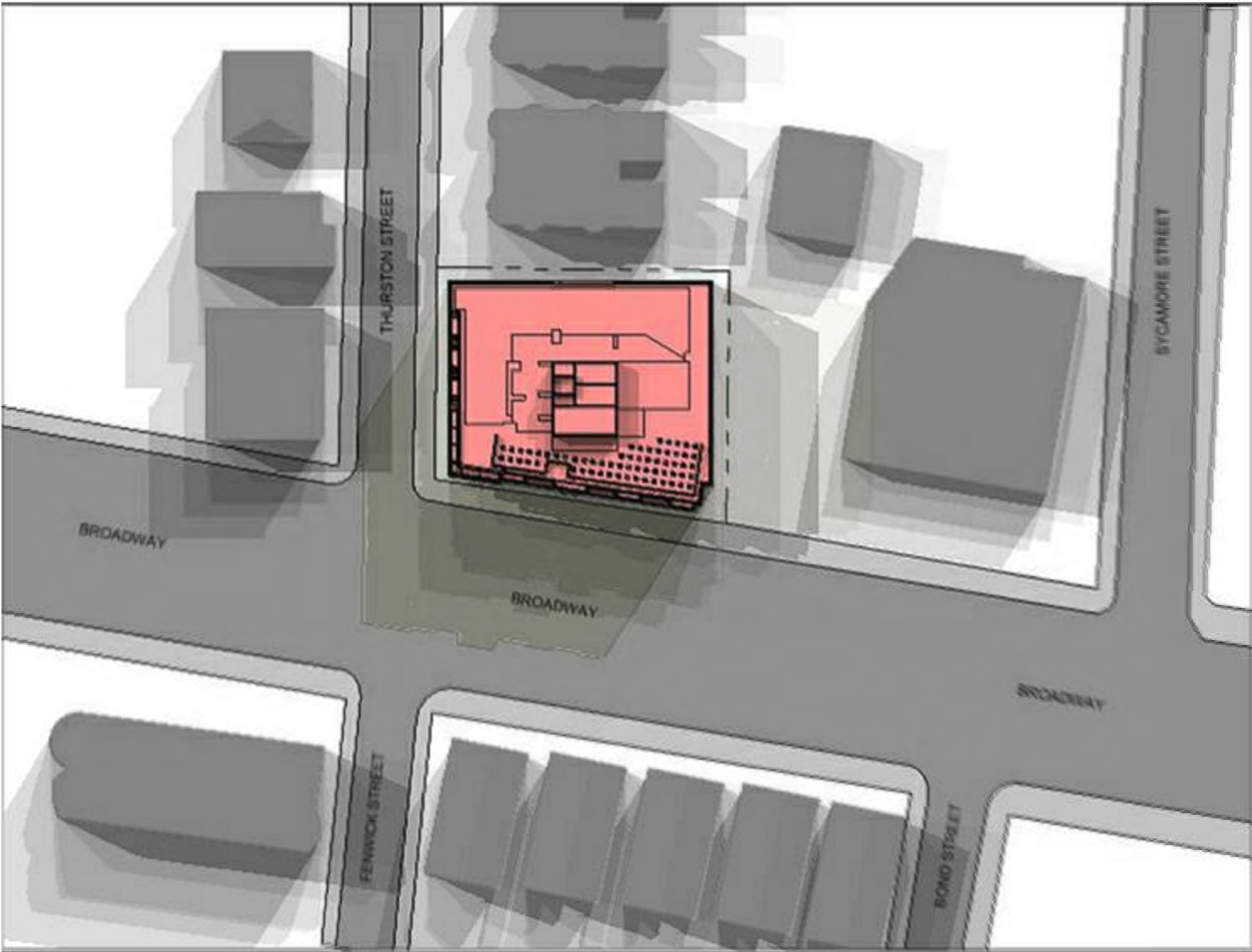
12 PM



3 PM



CUMULATIVE (HOURLY 9AM - 3PM)



PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
Somerville LLC

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Date	03/24/2023	
Drawn by	Author	
Checked by	Checker	
Scale	As indicated	

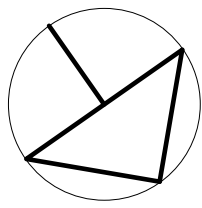
REVISIONS		
No.	Description	Date

Shadow Study -  
Vernal Equinox

AV-8

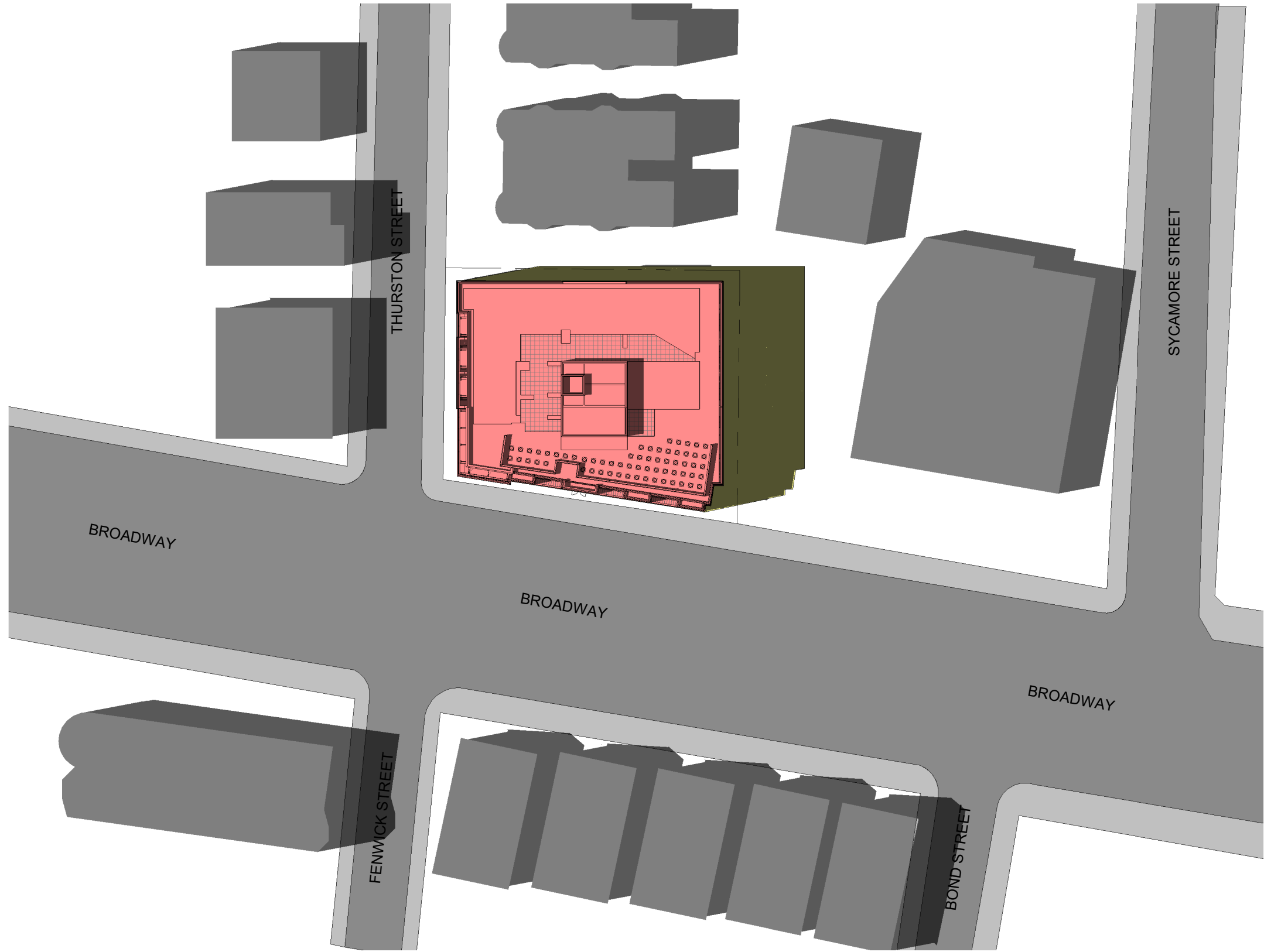
366 Broadway Residences



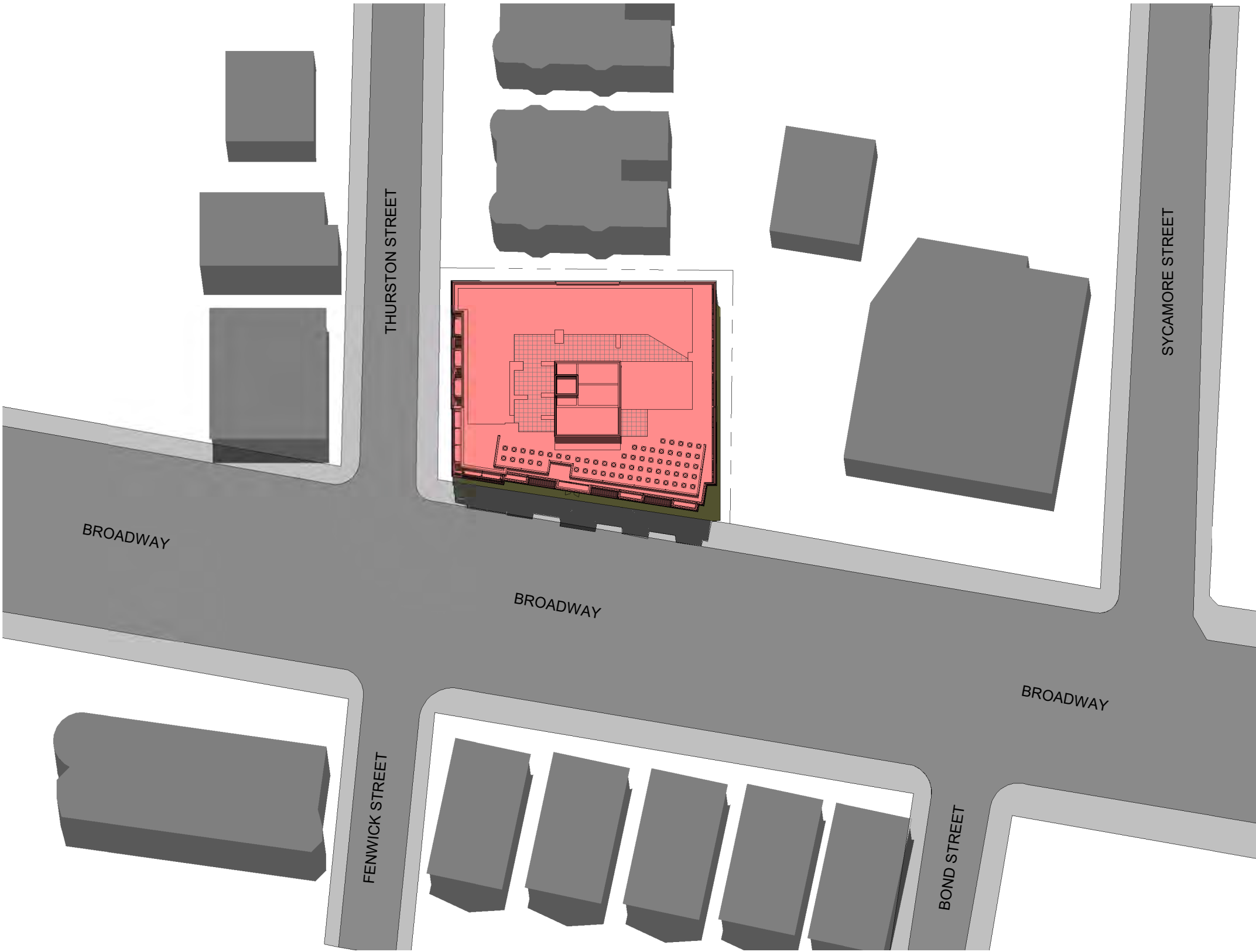


# SUMMER SOLSTICE (JUNE 21)

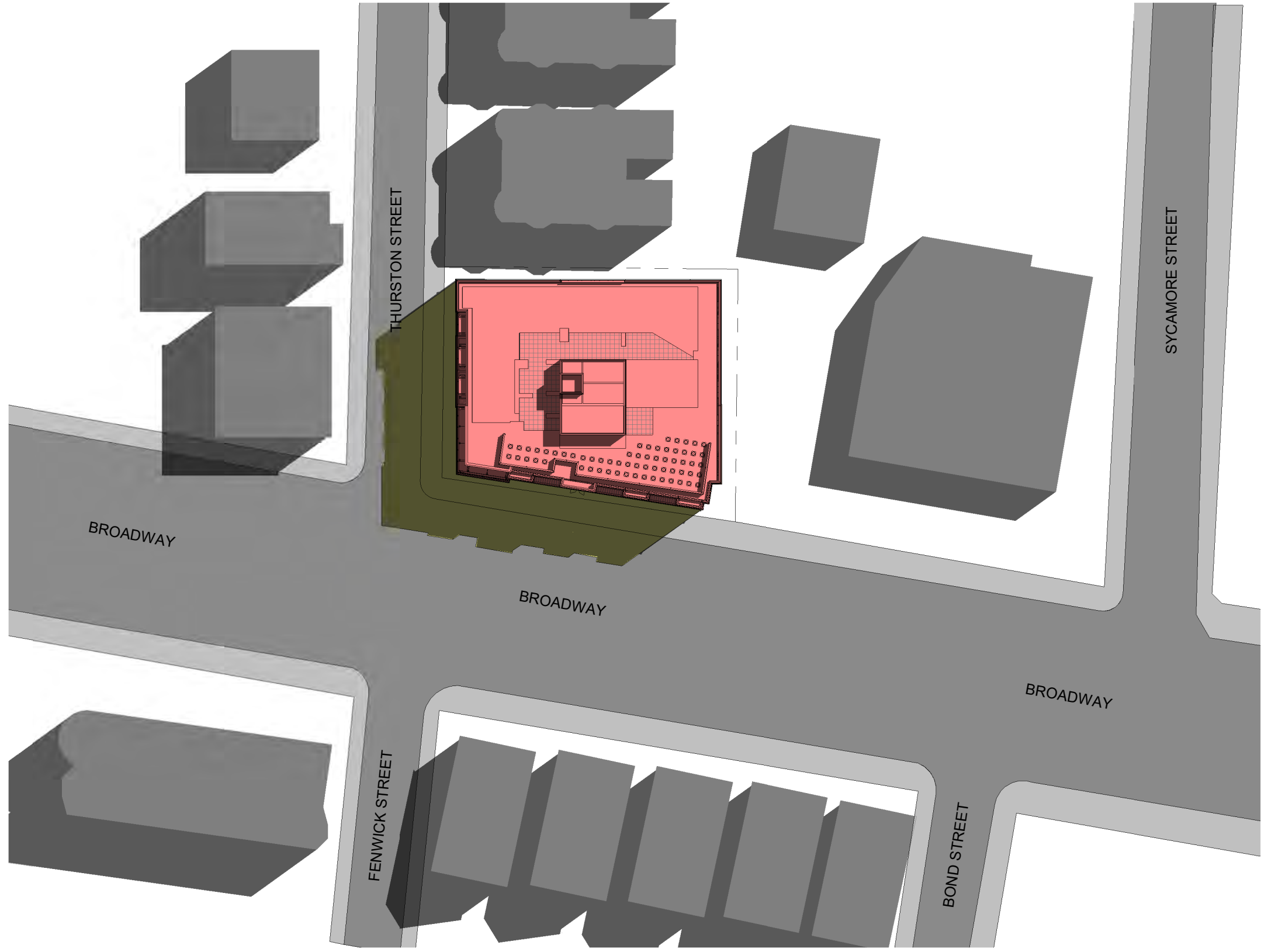
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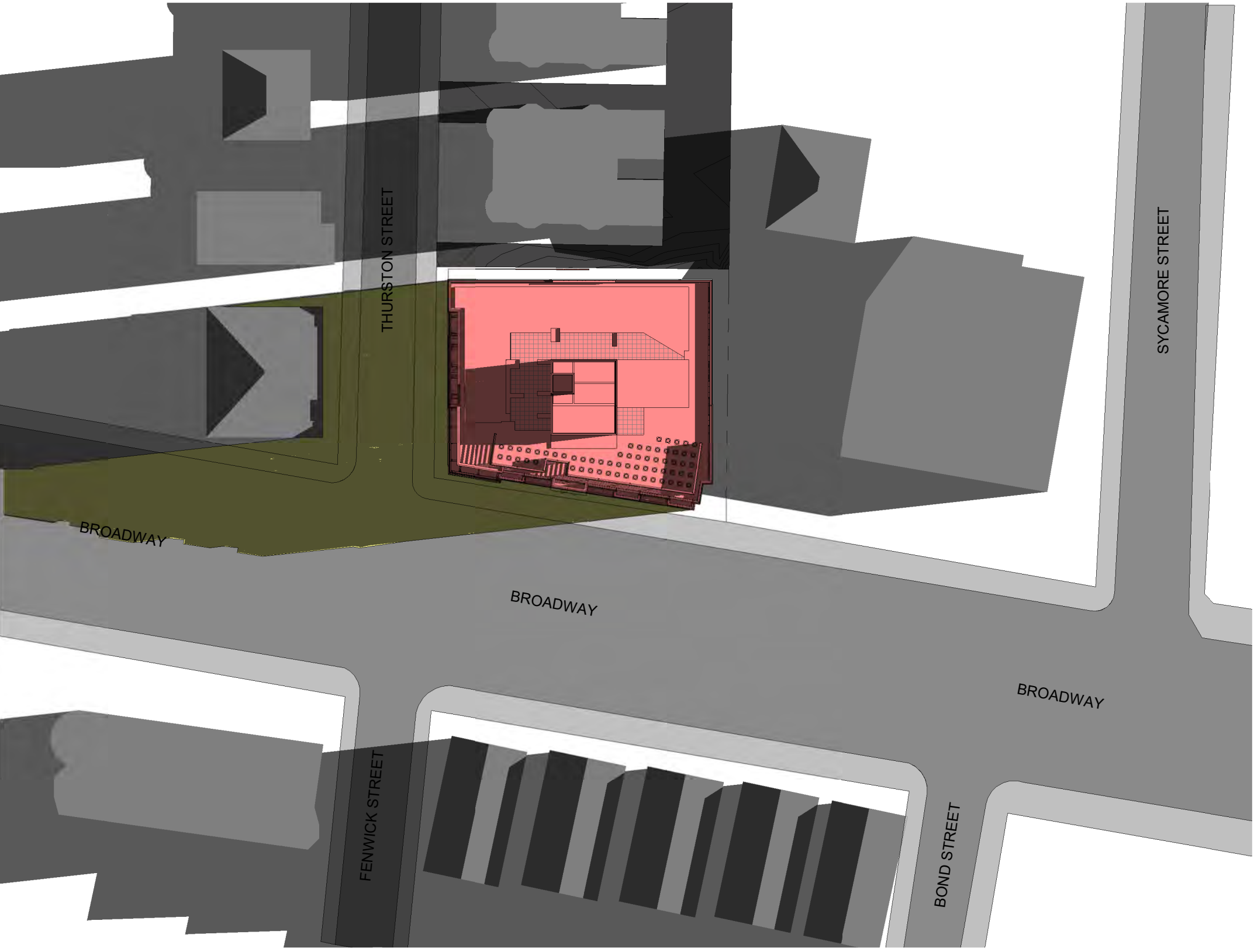
12 PM



3 PM



6 PM



PROJECT NAME  
**366 Broadway Residences**

PROJECT ADDRESS  
366 Broadway  
Somerville, MA

CLIENT  
**366 Broadway  
Somerville LLC**

ARCHITECT

**DESIGN**

**KHALSA**

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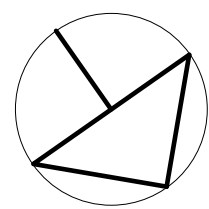
REVISIONS		
No.	Description	Date

Shadow Study -  
Summer Solstice

**AV-9**

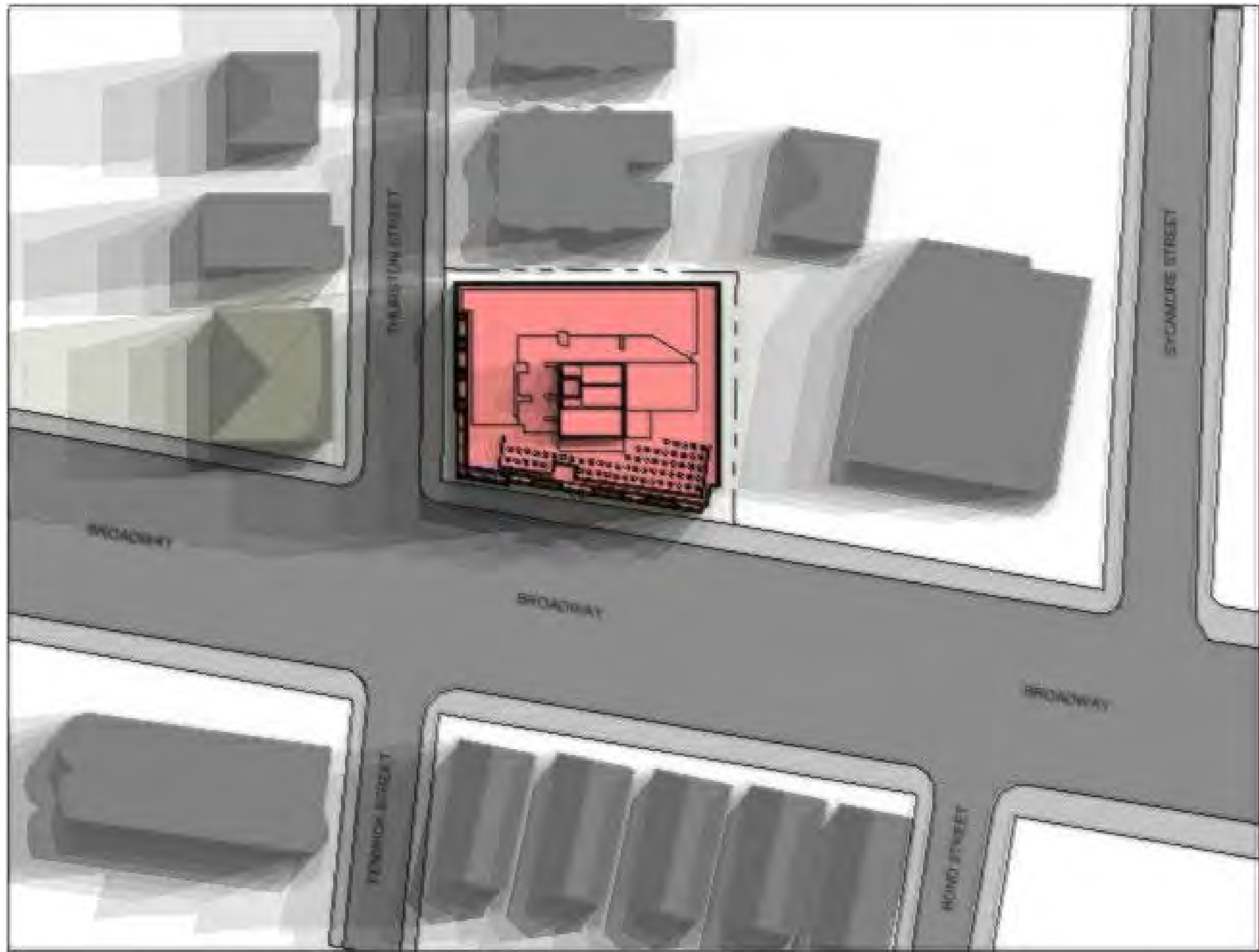
366 Broadway Residences





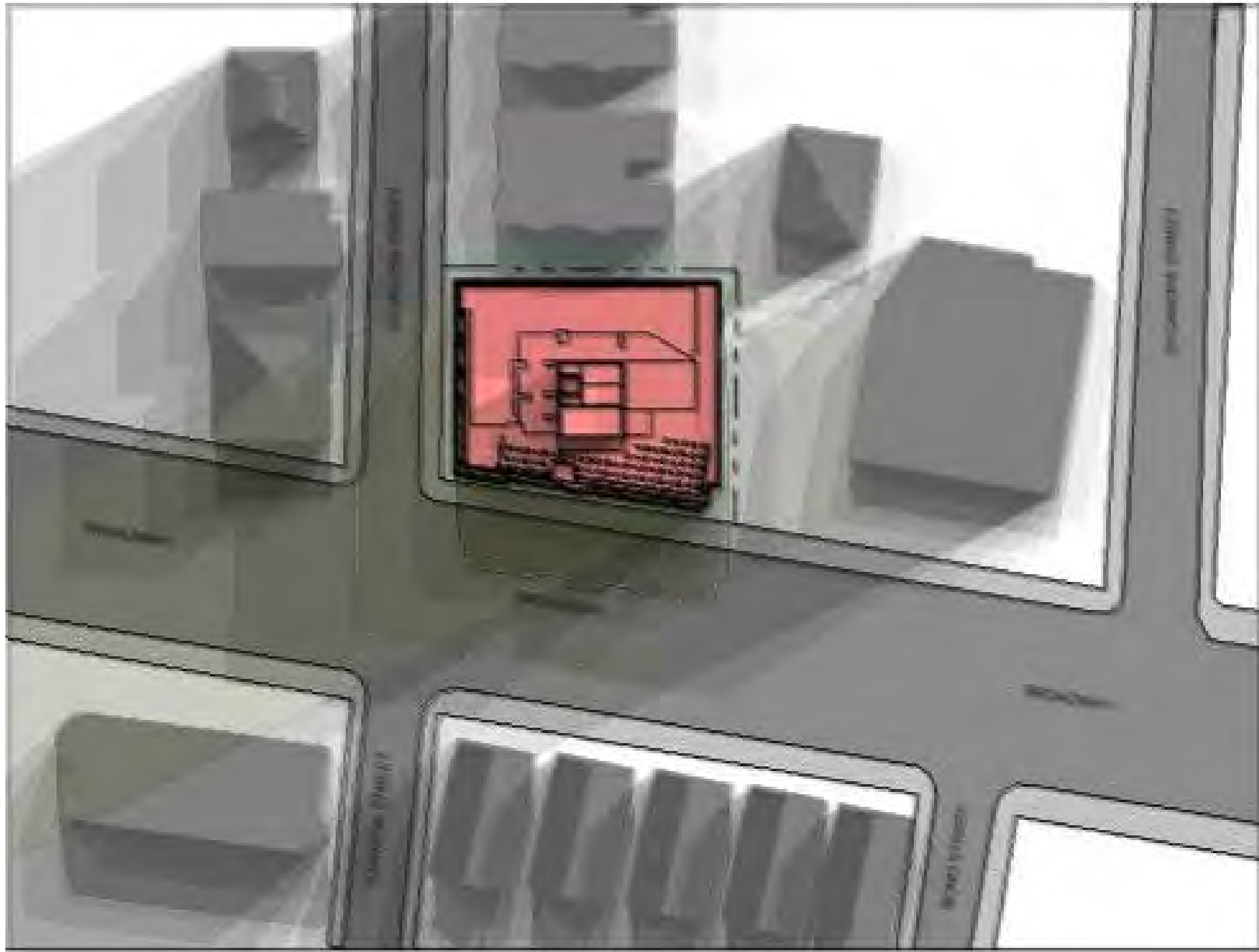
SUMMER SOLSTICE (JUNE 21)

CUMULATIVE (HOURLY 9 AM - 6PM)



AUTUMNAL EQUINOX (SEPTEMBER 21)

CUMULATIVE (HOURLY 9 AM - 6PM)



PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

366 Broadway  
Somerville LLC

ARCHITECT

DESIGN

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Date03/24/2023

Drawn byAuthor

Checked byChecker

Scale12" = 1'-0"

REVISIONS

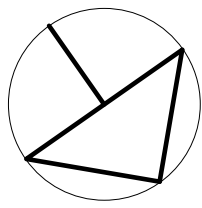
No.	Description	Date

Shadow Studies  
-Summer Solstice  
/Autumnal Equinox

AV-10

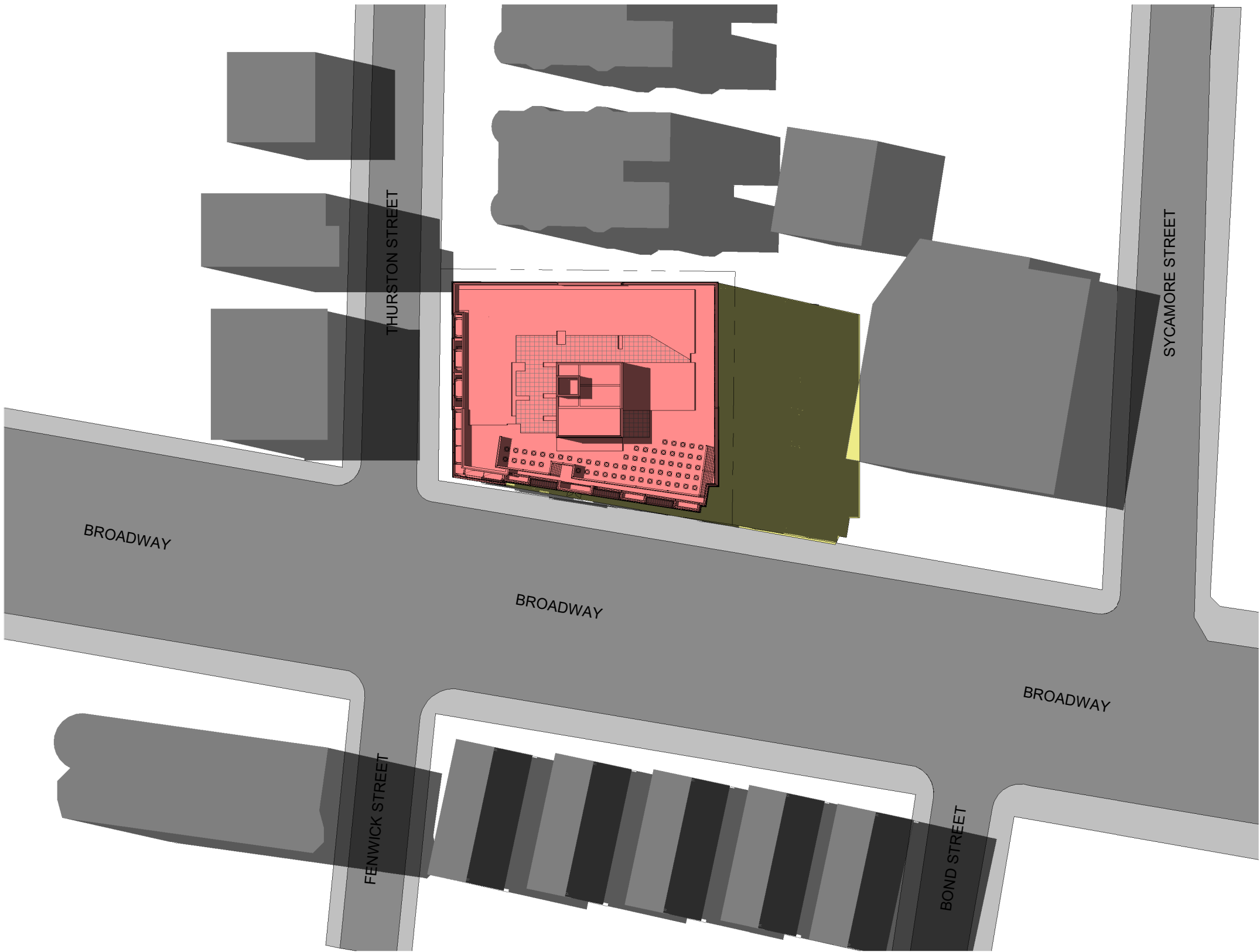
366 Broadway Residences



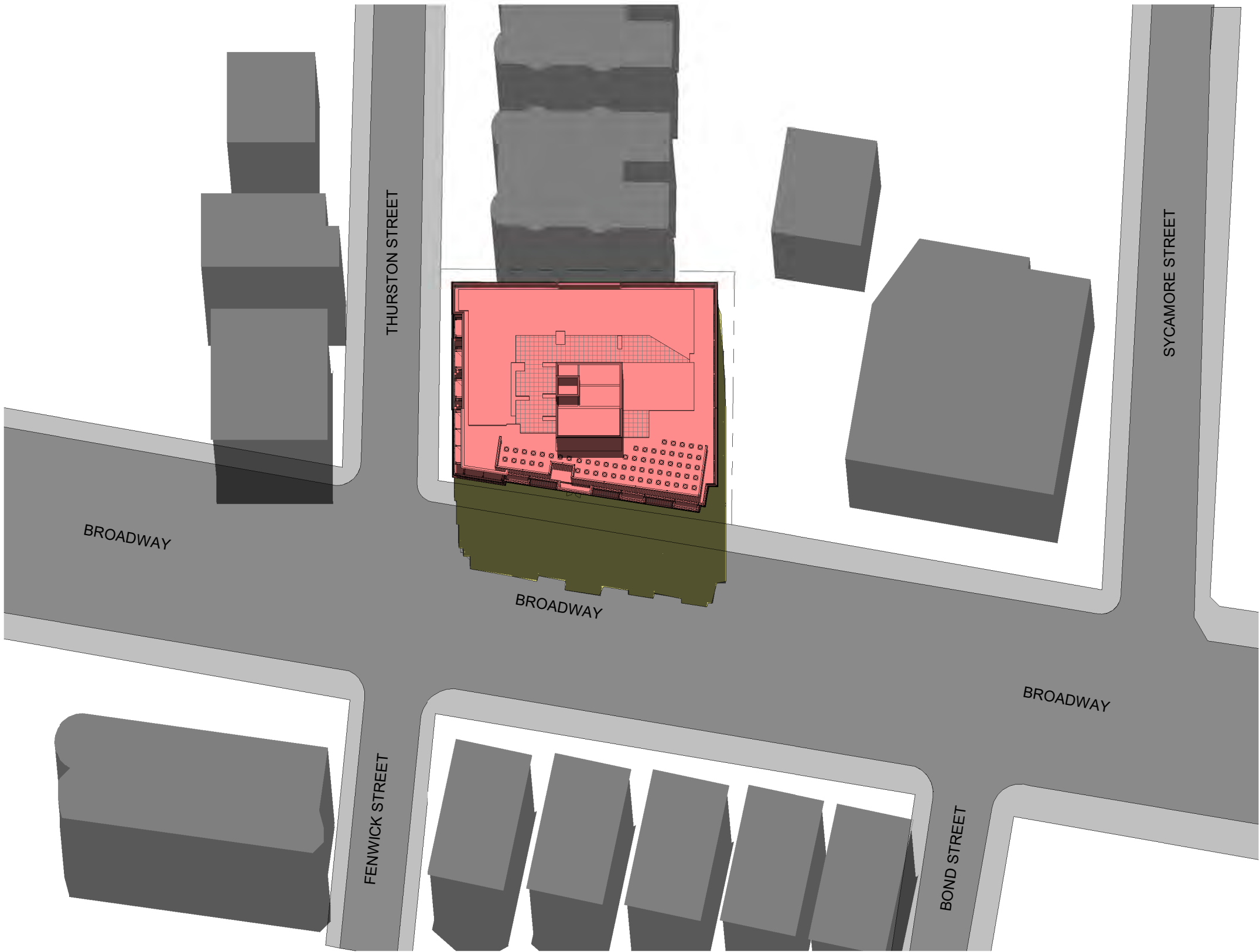


# AUTUMNAL EQUINOX (SEPTEMBER 21)

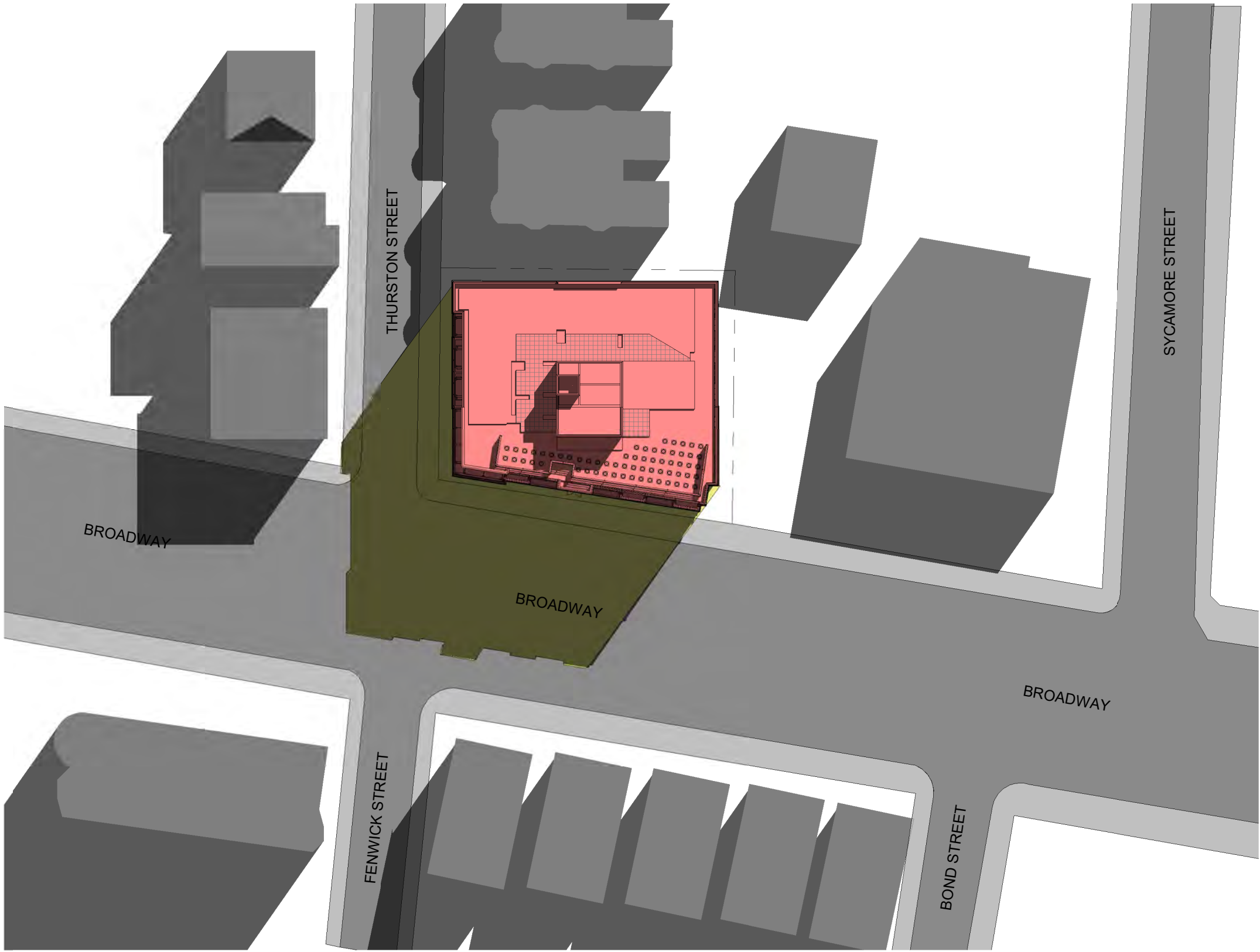
9 AM



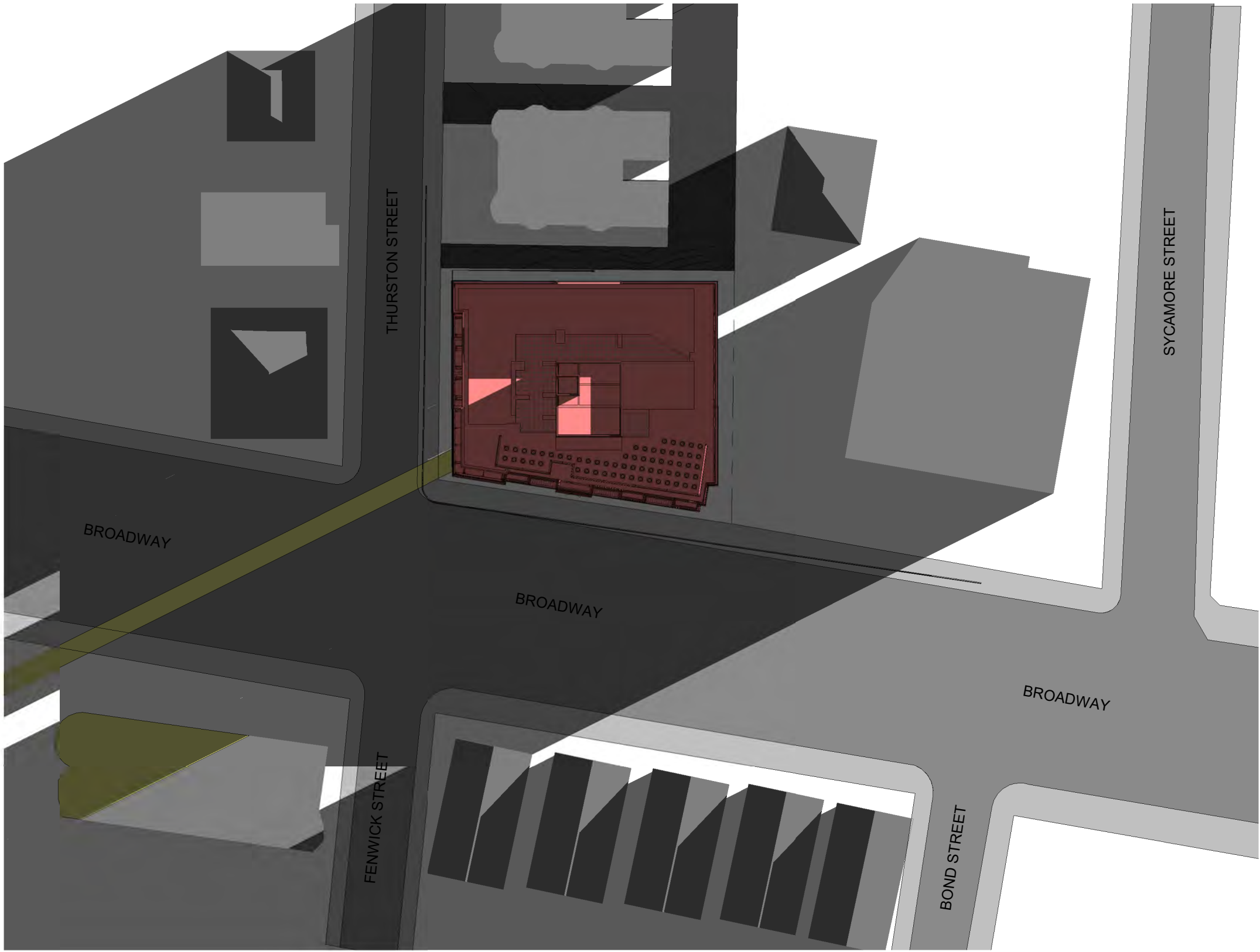
12 PM



3 PM



6 PM



PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

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Somerville, MA

CLIENT

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Scale	As indicated

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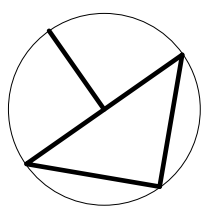
No.	Description	Date

Shadow Studies  
-Winter Solstice  
/Autumnal Equinox

AV-11

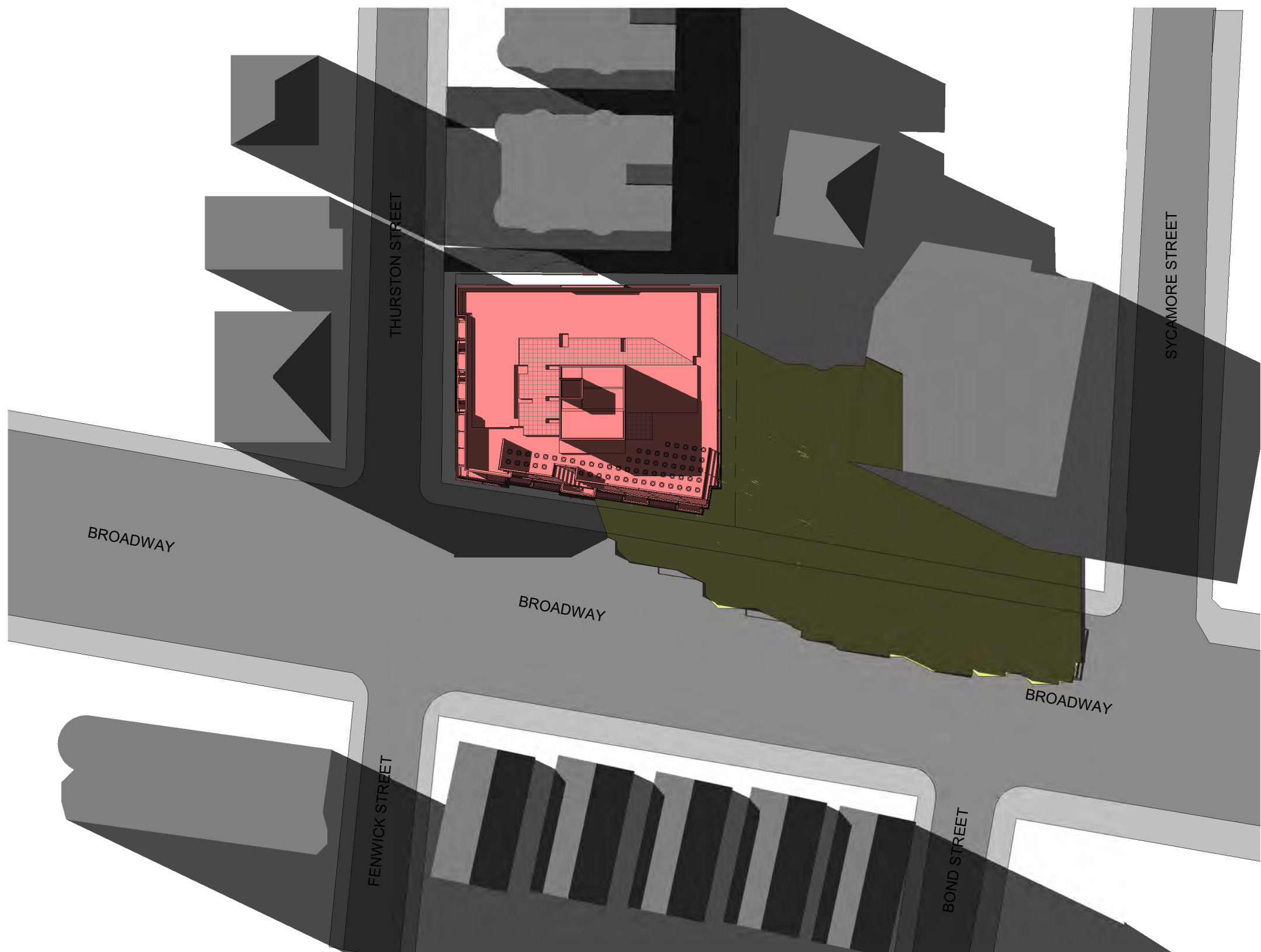
366 Broadway Residences



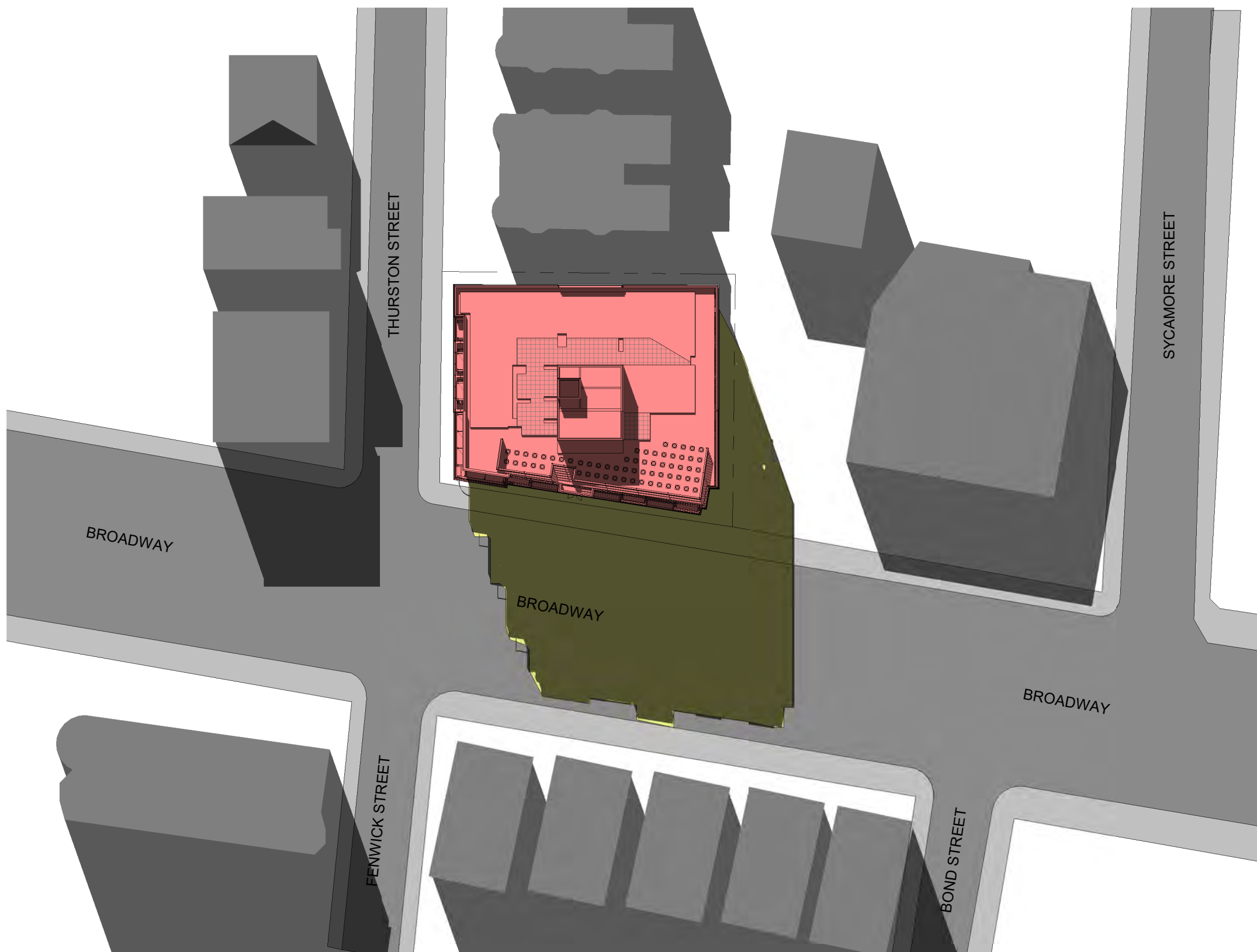


WINTER SOLSTICE (DECEMBER 21)

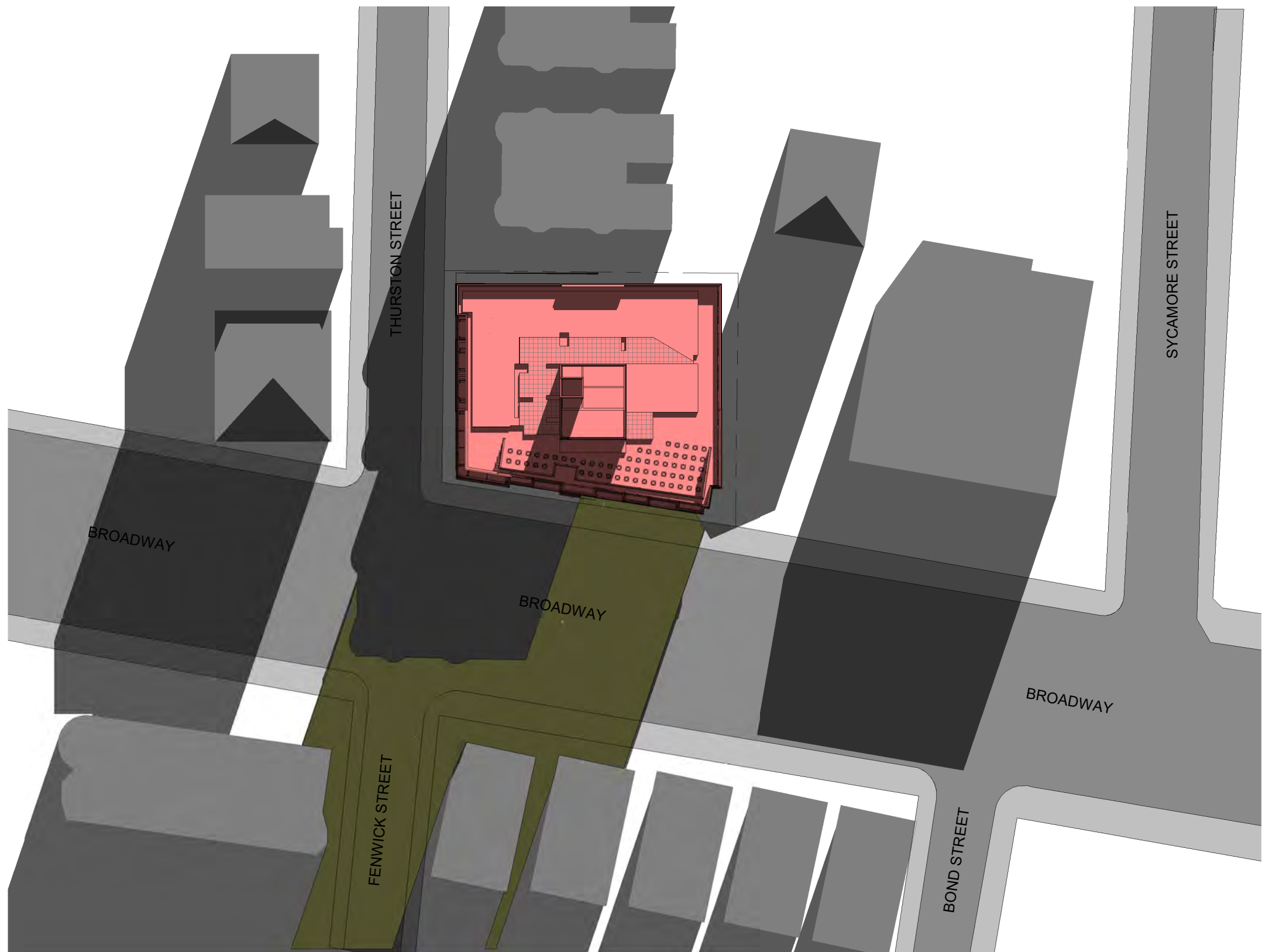
9 AM



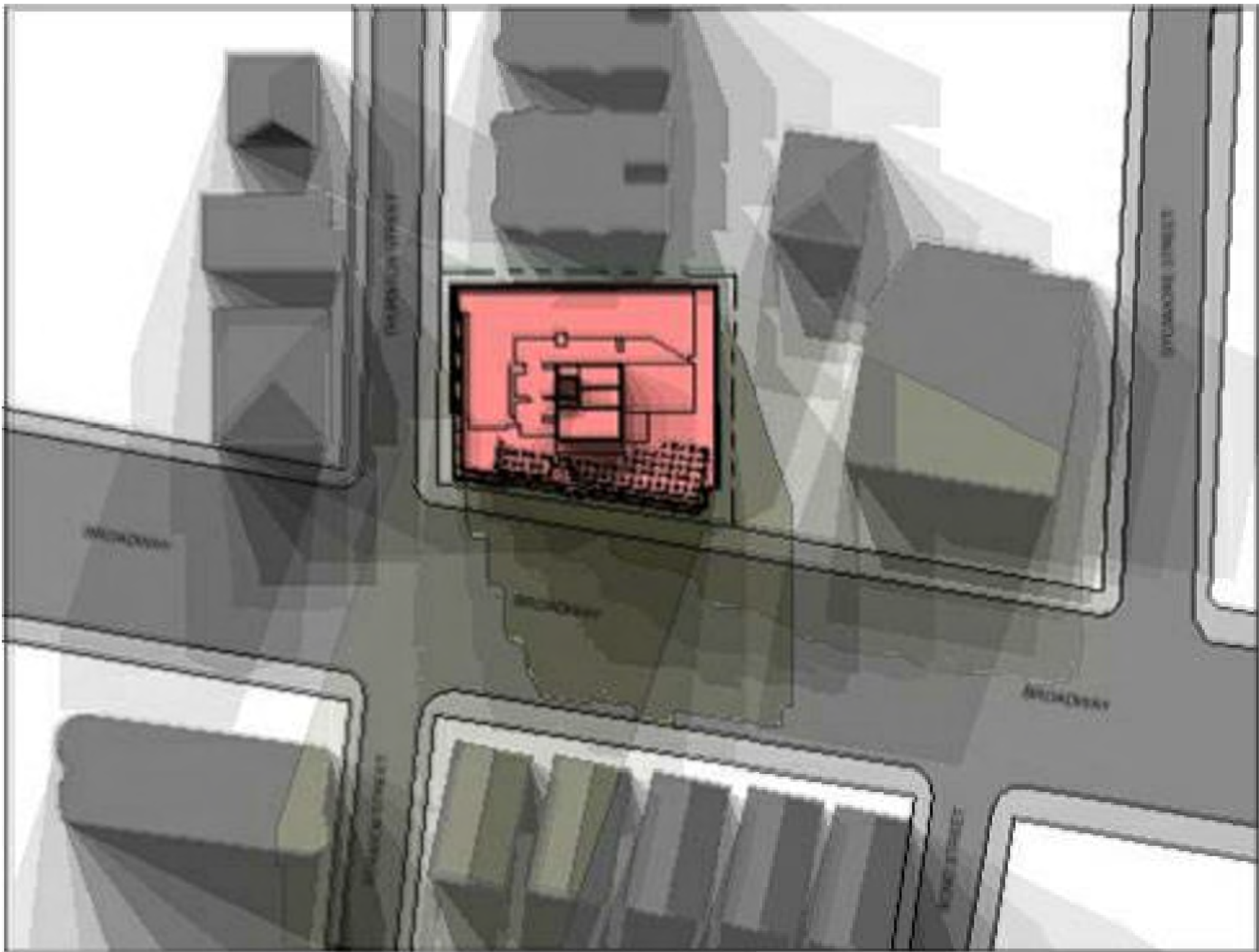
12 PM



3 PM



CUMULATIVE (HOURLY 9 AM - 3PM)



PROJECT NAME

366 Broadway  
Residences

PROJECT ADDRESS

366 Broadway  
Somerville, MA

CLIENT

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OF PROSECUTION UNDER LAW

REGISTRATION

Project number	21071
Date	03/24/2023
Drawn by	Author
Checked by	Checker
Scale	As indicated

REVISIONS

No.	Description	Date

Winter Solstice  
Shadow Study

AV-12

366 Broadway Residences